







**NOTES:**

1. THIS PLAN IS TO BE USED FOR RESOURCE CONSENT PURPOSES ONLY & IS NOT TO BE RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE CONSENT OF CUTTRISS CONSULTANTS LIMITED.
2. DIMENSIONS AND AREAS SHOWN ON THIS SCHEME PLAN WILL BE SUBJECT TO FINAL LAND TRANSFER SURVEY
3. COORDINATES ARE IN TERMS OF NEW ZEALAND GEODETIC 2000 DATUM, WANGANUI CIRCUIT.
4. LEVELS ARE IN TERMS OF MEAN SEA LEVEL WELLINGTON VERTICAL DATUM 1953. ORIGIN OF LEVELS: FJIT - LP 50 514718, SOURCED FROM LINZ ELLIPSOIDAL HEIGHT CONVERSION, OCTOBER 2021.
5. NOT ALL INTERESTS ON THE RECORD OF TITLE MAY BE SHOWN ON THIS PLAN, AND SHOULD BE INVESTIGATED FURTHER
6. SERVICES HAVE BEEN LOCATED ON SITE WHERE POSSIBLE, OTHERWISE SHOWN FROM KDCDC RECORDS, AND SHOULD BE VERIFIED ON SITE
7. CONTOUR INTERVAL: 0.25m
8. SURVEYED BY: FINLEY DELLER, FINN LANDACRE AND BEN NEGUS, 15 OCTOBER 2022
9. INSTRUMENT USED: TRIMBLE GPS RTK R8, TRIMBLE GPS RTK R10 & TRIMBLE S7
10. BOUNDARY LEVELS FOR DETERMINATION OF CRITICAL RECESION PLANES MUST BE CONFIRMED PRIOR TO ANY APPLICATION FOR BUILDING CONSENT
11. BOUNDARY INFORMATION HAS BEEN DETERMINED BY SURVEY CALCULATION METHODS AND HAS NOT BEEN VERIFIED ON SITE
12. ALL ELECTRONIC CAD DATA MUST BE READ IN CONJUNCTION WITH THESE NOTES

**LEGEND**

-  BOUNDARY
-  SEAL
-  SURFACE TYPE 1 - TO BE CONFIRMED
-  FOOTPATH
-  GARDEN
-  REFUSE AREA



RM220070 Approved Plans 9.12.2022

**ISSUED**







REVISION DETAILS		NAME	DATE	SCALE A1 1:500		REDUCED SCALE A3 - 1:1000	
A	KDCDC UPDATES	CMB	05/22				
B	UNITS UPDATED	NKT	10/22				
				FIELDWORK	FD	10/21	DRAWING NUMBER <b>22930 SCH1</b> SHEET <b>1</b> OF 27 SHEETS REVISION <b>B</b>
				DESIGNED	CMB	12/21	
				DRAWN	JAO	02/22	
				CHECKED	NKT	02/22	

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-  FOOTPATH
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-  REFUSE AREA



**RM220070 Approved Plans 9.12.2022**

**ISSUED**



PROJECT: **PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - DEVELOPMENT LAYOUT**  
 CLIENT: **GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE	REDUCED SCALE
A	KDCDC UPDATES	CMB	05/22	A1 1:500	A3 - 1:1000
B	UNITS UPDATED	NKT	10/22		





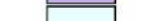


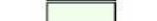
REVISION	NAME	DATE	DRAWING NUMBER
FIELDWORK	FD	10/21	<b>22930 SCH1</b>
DESIGNED	CMB	12/21	
DRAWN	JAO	02/22	
CHECKED	NKT	02/22	

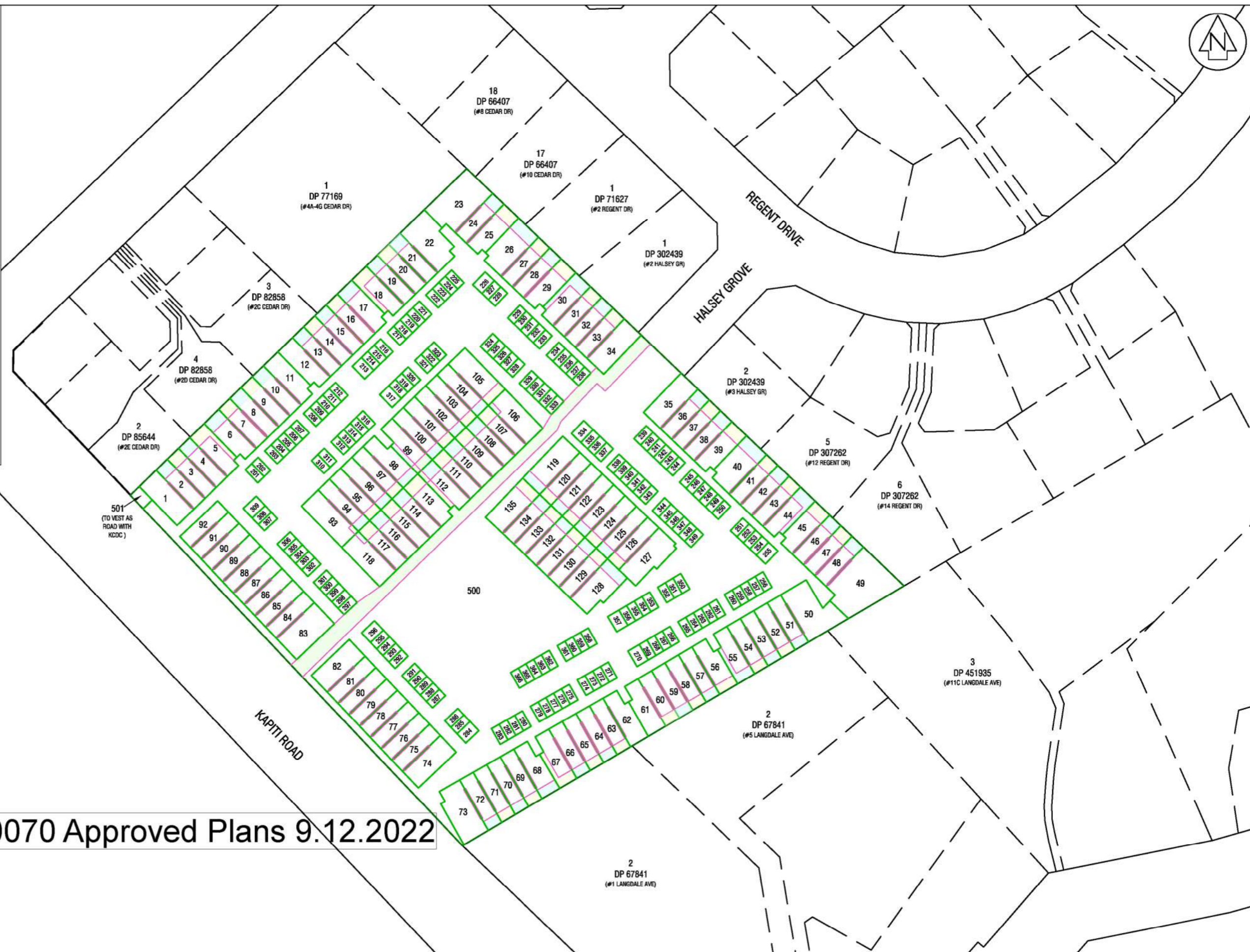
SHEET **2** OF 27 SHEETS  
 REVISION **B**

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**LEGEND**

-  BOUNDARY - EXISTING
-  BOUNDARY - PROPOSED
-  EASEMENT
-  PARTY WALL EASEMENT
-  EASEMENT
-  EASEMENT
-  EASEMENT
-  EASEMENT



RM220070 Approved Plans 9.12.2022

**ISSUED**

**Cuttriss**  
Surveyors. Engineers. Planners.

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PROJECT

CLIENT

**PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - LEGAL OVERALL**  
**GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE <b>A1 1:500</b>		REDUCED SCALE <b>A3 - 1:1000</b>	
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				DRAWN	JAO	02/22	
				CHECKED	NKT	02/22	
				SHEET <b>3</b> OF <b>27</b> SHEETS		REVISION <b>B</b>	

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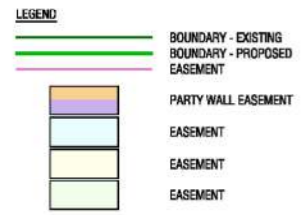
MEMORANDUM OF EASEMENTS				MEMORANDUM OF EASEMENTS				MEMORANDUM OF EASEMENTS				MEMORANDUM OF EASEMENTS				MEMORANDUM OF EASEMENTS				
PURPOSE	SHOWN	SERVIENT TENEMENT (BURDENED LAND)	DOMINANT TENEMENT (BENEFITED LAND)	PURPOSE	SHOWN	SERVIENT TENEMENT (BURDENED LAND)	DOMINANT TENEMENT (BENEFITED LAND)	PURPOSE	SHOWN	SERVIENT TENEMENT (BURDENED LAND)	DOMINANT TENEMENT (BENEFITED LAND)	PURPOSE	SHOWN	SERVIENT TENEMENT (BURDENED LAND)	DOMINANT TENEMENT (BENEFITED LAND)	PURPOSE	SHOWN	SERVIENT TENEMENT (BURDENED LAND)	DOMINANT TENEMENT (BENEFITED LAND)	
Party wall	PA	Lot 1	Lot 2	Party Wall	SG	Lot 47	Lot 48	Party wall	VE	Lot 90	Lot 91	Party Wall	YA	Lot 133	Lot 134	Right to Drain Water	CJ	Lot 115	Lots 93-96, 116-118	
	PB	Lot 2	Lot 1		SH	Lot 48	Lot 47		VF	Lot 91	Lot 90		YB	Lot 134	Lot 133		CK	Lot 116	Lots 93-95, 117-118	
	YE	Lot 2	Lot 3		SI	Lot 48	Lot 49		VG	Lot 91	Lot 92		YC	Lot 134	Lot 135		CL	Lot 117	Lots 93-94, 118	
	YF	Lot 3	Lot 2		SJ	Lot 49	Lot 48		VH	Lot 92	Lot 91		YD	Lot 135	Lot 134		DE	Lot 118	Lots 93	
	PC	Lot 3	Lot 4		SK	Lot 50	Lot 51		VI	Lot 93	Lot 94		A	Lot 2	Lot 1		CU	Lot 119	Lots 129-127	
	PD	Lot 4	Lot 3		SL	Lot 51	Lot 50		VJ	Lot 94	Lot 93		B	Lot 3	Lots 1 & 2		CV	Lot 120	Lots 125-128	
	PE	Lot 4	Lot 5		SM	Lot 51	Lot 52		VK	Lot 94	Lot 95		C	Lot 4	Lots 1-3		CW	Lot 121	Lots 124-129	
	PF	Lot 5	Lot 4		SN	Lot 52	Lot 51		VL	Lot 95	Lot 94		D	Lot 5	Lots 1-4 & 6-11		CK	Lot 122	Lots 123-130	
	PG	Lot 6	Lot 7		SO	Lot 52	Lot 53		VM	Lot 95	Lot 96		E	Lot 6	Lots 7-11		CY	Lot 132	Lots 122-131	
	PH	Lot 7	Lot 6		SP	Lot 53	Lot 52		VN	Lot 96	Lot 95		F	Lot 7	Lots 8-11		CZ	Lot 133	Lots 121-132	
	PI	Lot 7	Lot 8		SQ	Lot 53	Lot 54		VO	Lot 96	Lot 97		G	Lot 8	Lots 9-11		DA	Lot 134	Lots 120-133	
	PJ	Lot 8	Lot 7		SR	Lot 54	Lot 53		VP	Lot 97	Lot 96		H	Lot 9	Lots 10-11		DB	Lot 135	Lots 119-134	
	PK	Lot 8	Lot 9		SS	Lot 54	Lot 55		VQ	Lot 97	Lot 98		I	Lot 10	Lots 11		DE	Lot 93	Lot 118	
	PL	Lot 9	Lot 8		ST	Lot 55	Lot 54		VR	Lot 98	Lot 97		K	Lot 13	Lot 12		BN	Lot 94	Lots 93, 117 & 118	
	PM	Lot 9	Lot 10		SW	Lot 56	Lot 57		VS	Lot 99	Lot 100		L	Lot 14	Lots 12-13		BO	Lot 95	Lots 93-94, 116-118	
	PN	Lot 10	Lot 9		SX	Lot 57	Lot 56		VT	Lot 100	Lot 99		M	Lot 15	Lots 12-14		BP	Lot 96	Lots 93-95 & Lots 115-118	
	PO	Lot 10	Lot 11		SY	Lot 57	Lot 58		VU	Lot 100	Lot 101		N	Lot 16	Lots 12-15		BQ	Lot 97	Lots 93-96 & Lots 114-118	
	PP	Lot 11	Lot 10		SZ	Lot 58	Lot 57		VV	Lot 101	Lot 100		O	Lot 17	Lots 12-16		BR	Lot 98	Lots 93-97 & Lots 113-118	
	PS	Lot 12	Lot 13		TA	Lot 58	Lot 59		VW	Lot 101	Lot 102		P	Lot 18	Lots 12-17 & 19-22		BS & BU	Lot 99	Lots 93-98 & Lots 112-118	
	PT	Lot 13	Lot 12		TB	Lot 59	Lot 58		VX	Lot 102	Lot 101		Q	Lot 19	Lots 20-22		BV	Lot 100	Lot 93-99 & Lots 111-118	
	PU	Lot 13	Lot 14		TC	Lot 59	Lot 60		VY	Lot 103	Lot 104		R	Lot 20	Lots 21-22		BW	Lot 101	Lots 93-100 & Lots 110-118	
	PV	Lot 14	Lot 13		TD	Lot 60	Lot 59		VZ	Lot 104	Lot 103		S	Lot 21	Lot 22		BX	Lot 102	Lots 93-115 & Lots 109-118	
	PW	Lot 14	Lot 15		TG	Lot 60	Lot 61		WA	Lot 104	Lot 105		T	Lot 24	Lot 23		BY	Lot 103	Lots 93-102 & Lots 108-118	
	PX	Lot 15	Lot 14		TH	Lot 61	Lot 60		WB	Lot 105	Lot 104		U	Lot 25	Lots 23-24		BZ	Lot 104	Lots 93-103 & Lots 107-118	
	PY	Lot 15	Lot 16		TI	Lot 62	Lot 63		WC	Lot 105	Lot 106		V	Lot 26	Lots 23-25		CA	Lot 105	Lots 93-104 & Lots 106-118	
	PZ	Lot 16	Lot 15		TJ	Lot 63	Lot 62		WD	Lot 106	Lot 105		X	Lot 27	Lots 23-26		CM	Lot 106	Lots 120-135	
	QA	Lot 16	Lot 17		TK	Lot 63	Lot 64		WE	Lot 106	Lot 107		Y	Lot 28	Lots 23-27		CN	Lot 107	Lots 121-134	
	QB	Lot 17	Lot 16		TL	Lot 64	Lot 63		WF	Lot 107	Lot 106		Z	Lot 29	Lots 23-28		CO	Lot 108	Lots 122-133	
	QE	Lot 18	Lot 19		TM	Lot 64	Lot 65		WG	Lot 107	Lot 108		AA	Lot 30	Lots 23-29 & Lots 31-34		CP	Lot 109	Lots 123-132	
	QF	Lot 19	Lot 18		TN	Lot 65	Lot 64		WH	Lot 108	Lot 107		AB	Lot 31	Lots 32-34		CQ	Lot 123	Lots 124-131	
	QG	Lot 19	Lot 20		TO	Lot 65	Lot 66		WI	Lot 108	Lot 109		AC	Lot 32	Lots 33-34		CR	Lot 124	Lots 125-130	
	QH	Lot 20	Lot 19		TP	Lot 66	Lot 65		WJ	Lot 109	Lot 108		AD	Lot 33	Lot 34		CS	Lot 125	Lots 129-129	
	QI	Lot 20	Lot 21		TQ	Lot 66	Lot 67		WK	Lot 110	Lot 111		AE	Lot 36	Lot 35		CT	Lot 126	Lots 127-128	
	QJ	Lot 21	Lot 20		TR	Lot 67	Lot 66		WL	Lot 111	Lot 110		AF	Lot 37	Lots 35-36		Right of Way, Right to drain water and sewage, right to convey water, electricity and telecommunications	Lot 500	Lot 500	Lots 1-135 & Lots 201-366
	QK	Lot 21	Lot 22		TS	Lot 68	Lot 69		WM	Lot 111	Lot 112		AG	Lot 38	Lots 35-37					
	QL	Lot 22	Lot 21		TT	Lot 69	Lot 68		WN	Lot 112	Lot 111		AH	Lot 39	Lots 35-38					
	QM	Lot 23	Lot 24		TU	Lot 69	Lot 70		WO	Lot 112	Lot 113		AI	Lot 40	Lots 35-39					
	QN	Lot 24	Lot 23		TV	Lot 70	Lot 69		WP	Lot 113	Lot 112		AK	Lot 41	Lots 5-40					
	QO	Lot 24	Lot 25		TW	Lot 70	Lot 71		WQ	Lot 113	Lot 114		AL	Lot 42	Lots 35-41					
	QP	Lot 25	Lot 24		TX	Lot 71	Lot 70		WR	Lot 114	Lot 113		AM	Lot 43	Lots 35-42					
	QS	Lot 26	Lot 27		TY	Lot 71	Lot 72		WS	Lot 114	Lot 115		AN	Lot 44	Lots 35-43 & 45-49					
	QT	Lot 27	Lot 26		TZ	Lot 72	Lot 71		WT	Lot 115	Lot 114		AO	Lot 45	Lots 48-49					
	QU	Lot 27	Lot 28		UA	Lot 72	Lot 73		WU	Lot 115	Lot 116		AP	Lot 46	Lots 47-49					
	QV	Lot 28	Lot 27		UB	Lot 73	Lot 72		WV	Lot 116	Lot 115		AQ	Lot 47	Lots 48-49					
	QW	Lot 28	Lot 29		UC	Lot 74	Lot 75		WW	Lot 117	Lot 118		AR	Lot 48	Lot 49					
	QX	Lot 29	Lot 28		UD	Lot 75	Lot 74		WX	Lot 118	Lot 117		AS	Lot 51	Lot 50					
	RA	Lot 30	Lot 31		UE	Lot 75	Lot 76		WY	Lot 118	Lot 119		AT	Lot 52	Lots 50-51					
RB	Lot 31	Lot 30	UF	Lot 76	Lot 75	WZ	Lot 119	Lot 118	AU	Lot 53	Lots 50-52									
RC	Lot 31	Lot 32	UG	Lot 76	Lot 77	XA	Lot 119	Lot 120	AV	Lot 54	Lots 50-53									
RD	Lot 32	Lot 31	UH	Lot 77	Lot 76	XB	Lot 120	Lot 119	AX	Lot 55	Lots 50-54 & 56-61									
RE	Lot 32	Lot 33	UI	Lot 77	Lot 78	XC	Lot 120	Lot 121	AY	Lot 56	Lots 57-61									
RF	Lot 33	Lot 32	IJ	Lot 78	Lot 77	XD	Lot 121	Lot 120	AZ	Lot 57	Lots 58-61									
RG	Lot 33	Lot 34	UK	Lot 78	Lot 79	XE	Lot 121	Lot 122	BA	Lot 58	Lots 59-61									
RH	Lot 34	Lot 33	UL	Lot 79	Lot 78	XF	Lot 122	Lot 121	BB	Lot 59	Lots 60-61									
RI	Lot 35	Lot 36	UM	Lot 79	Lot 80	XG	Lot 122	Lot 123	BC	Lot 60	Lot 61									
RJ	Lot 36	Lot 35	UN	Lot 80	Lot 79	XH	Lot 123	Lot 122	BE	Lot 63	Lot 62									
RK	Lot 36	Lot 37	UO	Lot 80	Lot 81	XI	Lot 123	Lot 124	BF	Lot 64	Lots 62-63									
RL	Lot 37	Lot 36	UP	Lot 81	Lot 80	XJ	Lot 124	Lot 123	DC	Lot 65	Lots 62-64									
RM	Lot 37	Lot 38	YG	Lot 81	Lot 82	XK	Lot 124	Lot 125	BG	Lot 66	Lot 62-65									
RN	Lot 38	Lot 37	YH	Lot 82	Lot 81	XL	Lot 125	Lot 124	BH	Lot 67	Lots 62-66 & 68-73									
RO	Lot 38	Lot 39	UQ	Lot 83	Lot 84	XM	Lot 125	Lot 126	BI	Lot 68	Lots 69-73									
RP	Lot 39	Lot 38	UR	Lot 84	Lot 83	XN	Lot 126	Lot 125	BJ	Lot 69	Lots 70-73									
RQ	Lot 40	Lot 41	US	Lot 84	Lot 85	XO	Lot 126	Lot 127	BK	Lot 70	Lots 71-73									
RR	Lot 41	Lot 40	UT	Lot 85	Lot 84	XP	Lot 127	Lot 126	BL	Lot 71	Lots 72-73									
RS	Lot 41	Lot 42	UU	Lot 85	Lot 86	XQ	Lot 128	Lot 129	BM	Lot 72	Lot 73									
RT	Lot 42	Lot 41	UV	Lot 86	Lot 85	XR	Lot 129	Lot 128	DF	Lot 106	Lot 105									
RU	Lot 42	Lot 43	UW	Lot 86	Lot 87	XS	Lot 129	Lot 130	OB	Lot 107	Lots 104-106									
RV	Lot 43	Lot 42	UX	Lot 87	Lot 86	XT	Lot 130	Lot 129	OC	Lot 108	Lots 103-107									
RW	Lot 43	Lot 44	UY	Lot 87	Lot 88	XU	Lot 130	Lot 131	CD	Lot 109	Lots 102-108									
RX	Lot 44	Lot 43	UZ	Lot 88	Lot 87	XV	Lot 131	Lot 130	CE	Lot 110	Lots 101-109									
SC	Lot 45	Lot 46	VA	Lot 88	Lot 89	XW	Lot 131	Lot 132	CF	Lot 111	Lots 100-110									
SD	Lot 46	Lot 45	VB	Lot 89	Lot 88	XK	Lot 132	Lot 131	CG, YI & YJ	Lot 112	Lots 93-111, 113-118, 500									
SE	Lot 46	Lot 47	VC	Lot 89	Lot 90	XY	Lot 132	Lot 133	CH	Lot 113	Lots 93-98, 114-118									
SF	Lot 47	Lot 46	VD	Lot 90	Lot 89	XZ	Lot 133	Lot 132	CI	Lot 114	Lots 93-97, 115-118									

**ISSUED**



PROJECT	PROPOSED SUBDIVISION				REVISION DETAILS	NAME	DATE	SCALE A1 1:500		REDUCED SCALE A3 - 1:1000			
	LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU				A	KCDC UPDATES	CMB	05/22					
	SCHEME PLAN - PROPOSED DEVELOPMENT				B	UNITS UPDATED	NKT	10/22					
CLIENT	GRESHAM TRUST								FIELDWORK	FD	10/21	DRAWING NUMBER	
									DESIGNED	CMB	12/21	22930 SCH1	
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									CHECKED	NKT	02/22	REVISION	B

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PROJECT: **PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - LEGAL**  
 CLIENT: **GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE	REDUCED SCALE
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B	UNITS UPDATED	NKT	10/22		

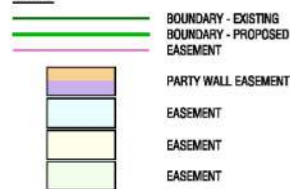
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FD	FD	10/21	<b>22930 SCH1</b>
DESIGNED	CMB	12/21	
DRAWN	JAO	02/22	
CHECKED	NKT	02/22	

SHEET 5 OF 27 SHEETS  
 REVISION B

NOTES:

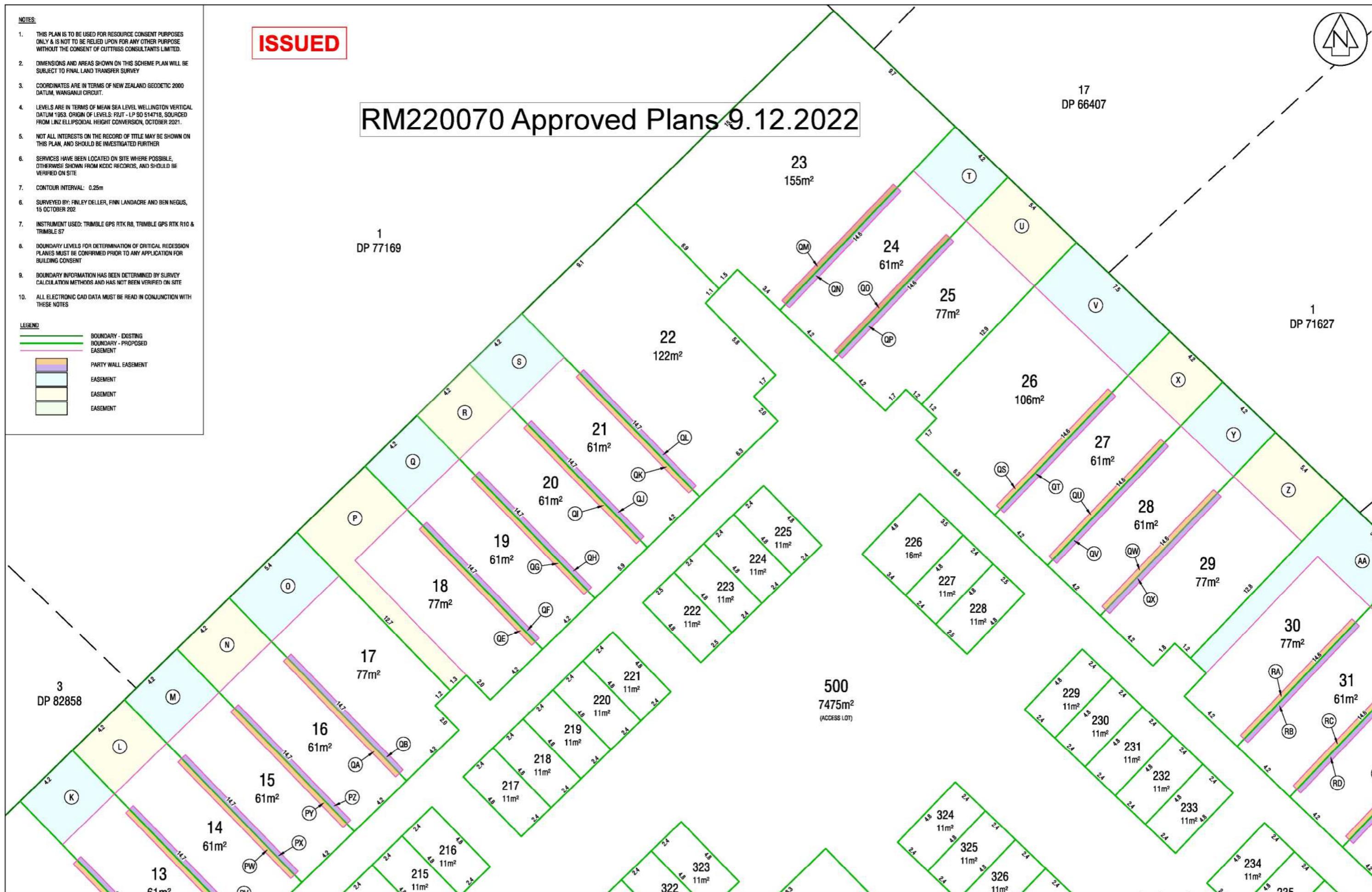
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LEGEND



**ISSUED**

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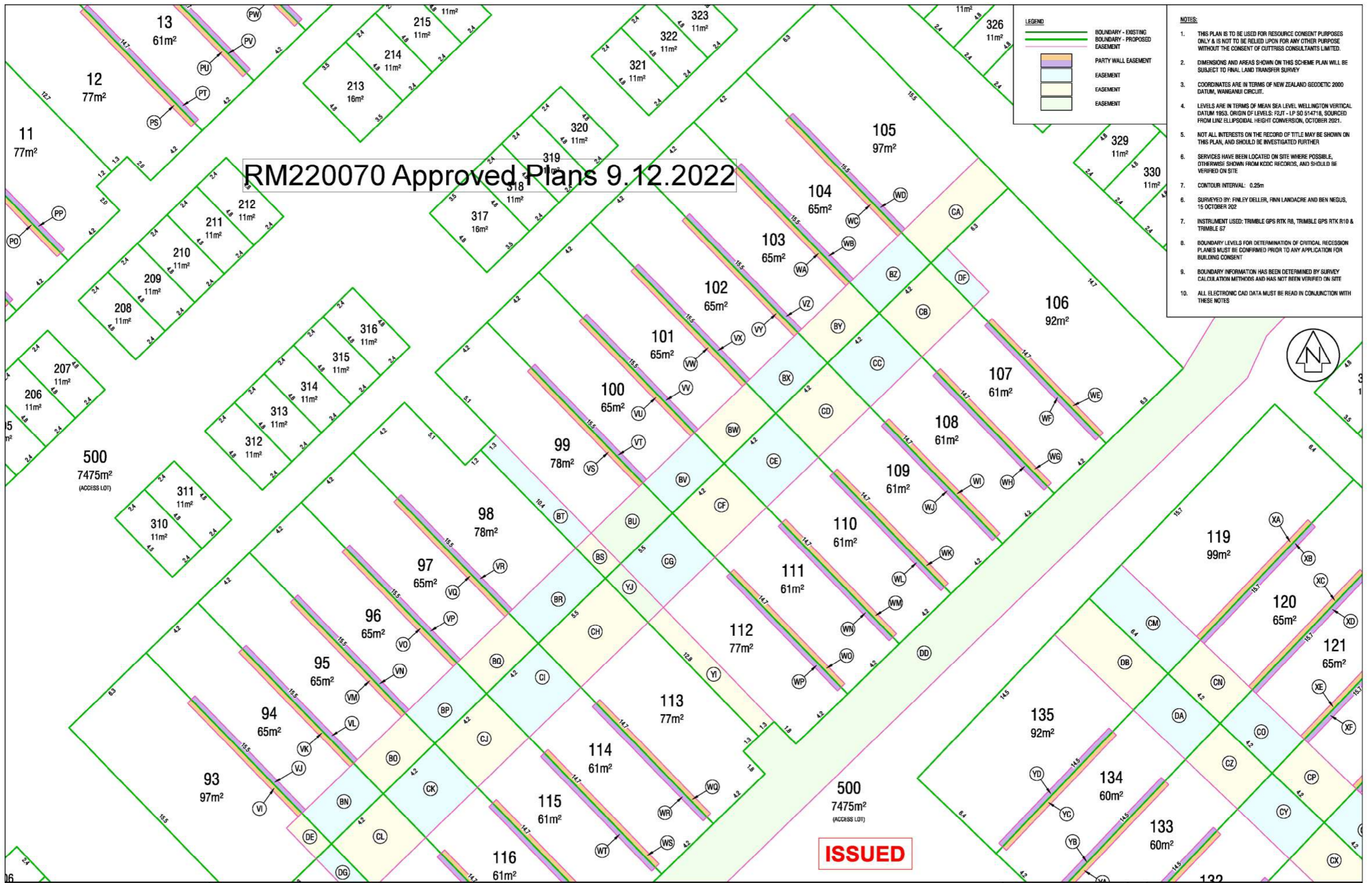
PROJECT

CLIENT

**PROPOSED SUBDIVISION**  
 LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU  
**SCHEME PLAN - LEGAL**  
 GRESHAM TRUST

REVISION DETAILS		NAME	DATE	SCALE A1 1:100		REDUCED SCALE A3 - 1:200	
A	KDCDC UPDATES	CMB	05/22	FIELDWORK	FD	10/21	<b>DRAWING NUMBER</b> <b>22930 SCH1</b> <b>SHEET 6 OF 27 SHEETS</b> <b>REVISION B</b>
B	UNITS UPDATED	NKT	10/22	DESIGNED	CMB	12/21	
				DRAWN	JAO	02/22	
				CHECKED	NKT	02/22	





**LEGEND**

	BOUNDARY - EXISTING
	BOUNDARY - PROPOSED
	EASEMENT
	PARTY WALL EASEMENT
	EASEMENT
	EASEMENT

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PROJECT  
**PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - LEGAL**  
 CLIENT  
**GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE	REDUCED SCALE
A	KDCDC UPDATES	CMB	05/22	A1 1:100	A3 - 1:200
B	UNITS UPDATED	NKT	10/22		

FIELDWORK	NAME	DATE	DRAWING NUMBER
DESIGNED	FD	10/21	<b>22930 SCH1</b>
DESIGNED	CMB	12/21	
DRAWN	JAO	02/22	SHEET 8 OF 27 SHEETS
CHECKED	NKT	02/22	REVISION B



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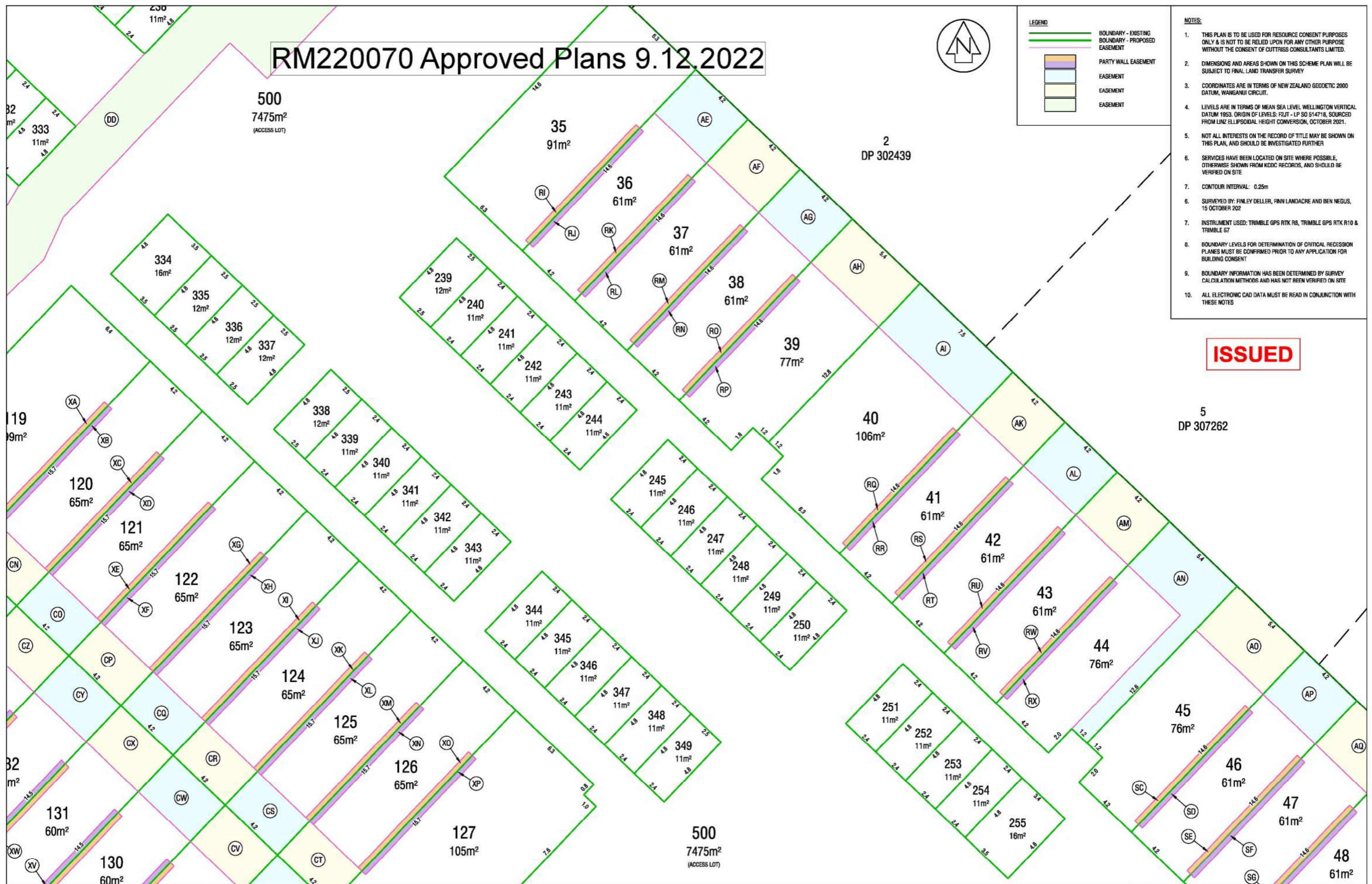


**LEGEND**

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	BOUNDARY - PROPOSED
	EASEMENT
	PARTY WALL EASEMENT
	EASEMENT
	EASEMENT

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**ISSUED**

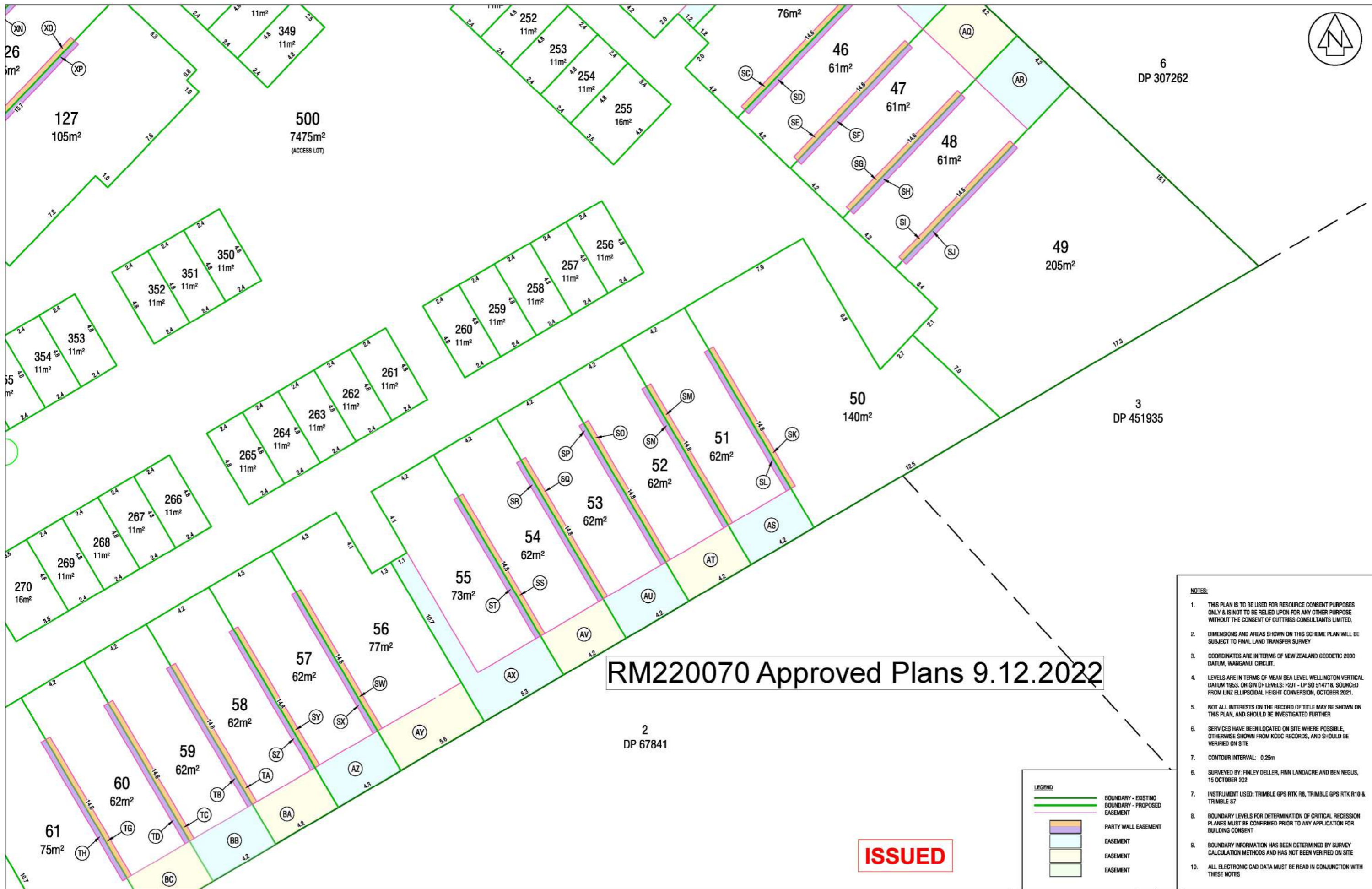


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PROJECT: **PROPOSED SUBDIVISION**  
 LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU  
**SCHEME PLAN - LEGAL**  
 CLIENT: **GRESHAM TRUST**

REVISION DETAILS		NAME	DATE
A	KDCDC UPDATES	CMB	05/22
B	UNITS UPDATED	NKT	10/22

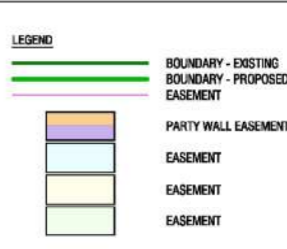
SCALE <b>A1 1:100</b>		REDUCED SCALE A3 - 1:200	
FIELDWORK	FD	10/21	DRAWING NUMBER <b>22930 SCH1</b>
DESIGNED	CMB	12/21	
DRAWN	JAO	02/22	
CHECKED	NKT	02/22	
SHEET <b>9</b> OF 27 SHEETS			REVISION <b>B</b>



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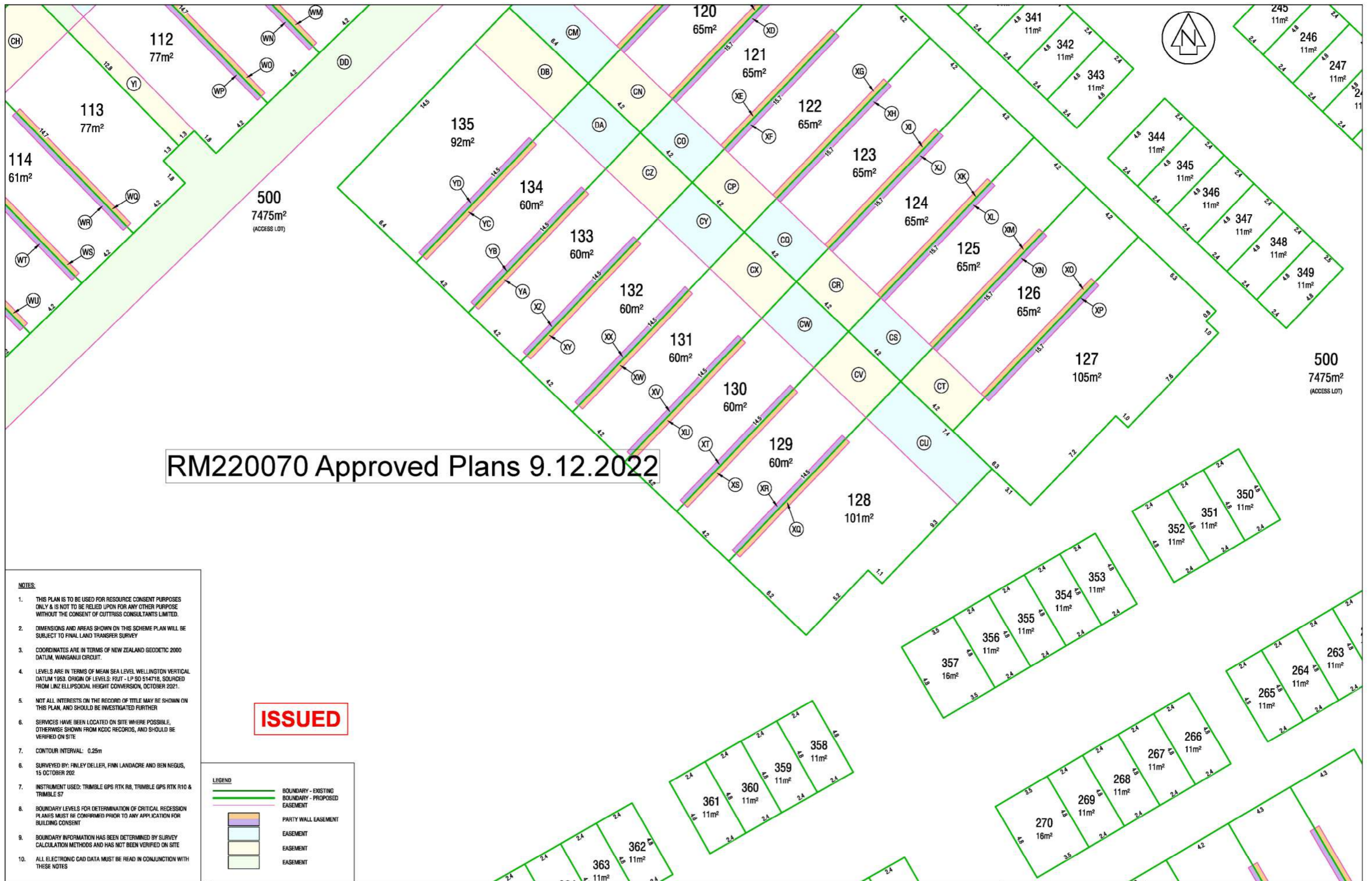
PROJECT: PROPOSED SUBDIVISION  
 LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU  
 SCHEME PLAN - LEGAL  
 GRESHAM TRUST

REVISION DETAILS	NAME	DATE
A KDCDC UPDATES	CMB	05/22
B UNITS UPDATED	NKT	10/22

SCALE	REDUCED SCALE
A1 1:100	A3 - 1:200

REVISION	NAME	DATE	DRAWING NUMBER
REVISION	B		22930 SCH1

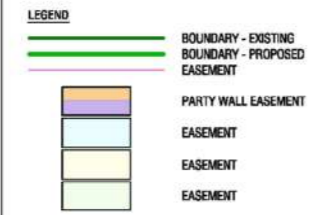
SHEET 10 OF 27 SHEETS



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PROJECT  
CLIENT

**PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - LEGAL**  
**GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE	REDUCED SCALE
A	KDCG UPDATES	CMB	05/22	A1 1:100	A3 - 1:200
B	UNITS UPDATED	NKT	10/22		

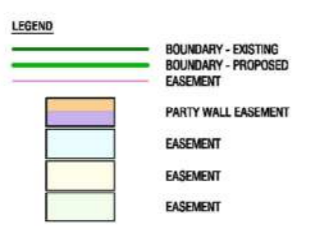
FIELDWORK	NAME	DATE	DRAWING NUMBER
DESIGNED	FD	10/21	22930 SCH1
DRAWN	CMB	12/21	
CHECKED	JAO	02/22	SHEET 11 OF 27 SHEETS
	NKT	02/22	REVISION B

RM220070 Approved Plans 9.12.2022

KAPITI ROAD

**ISSUED**

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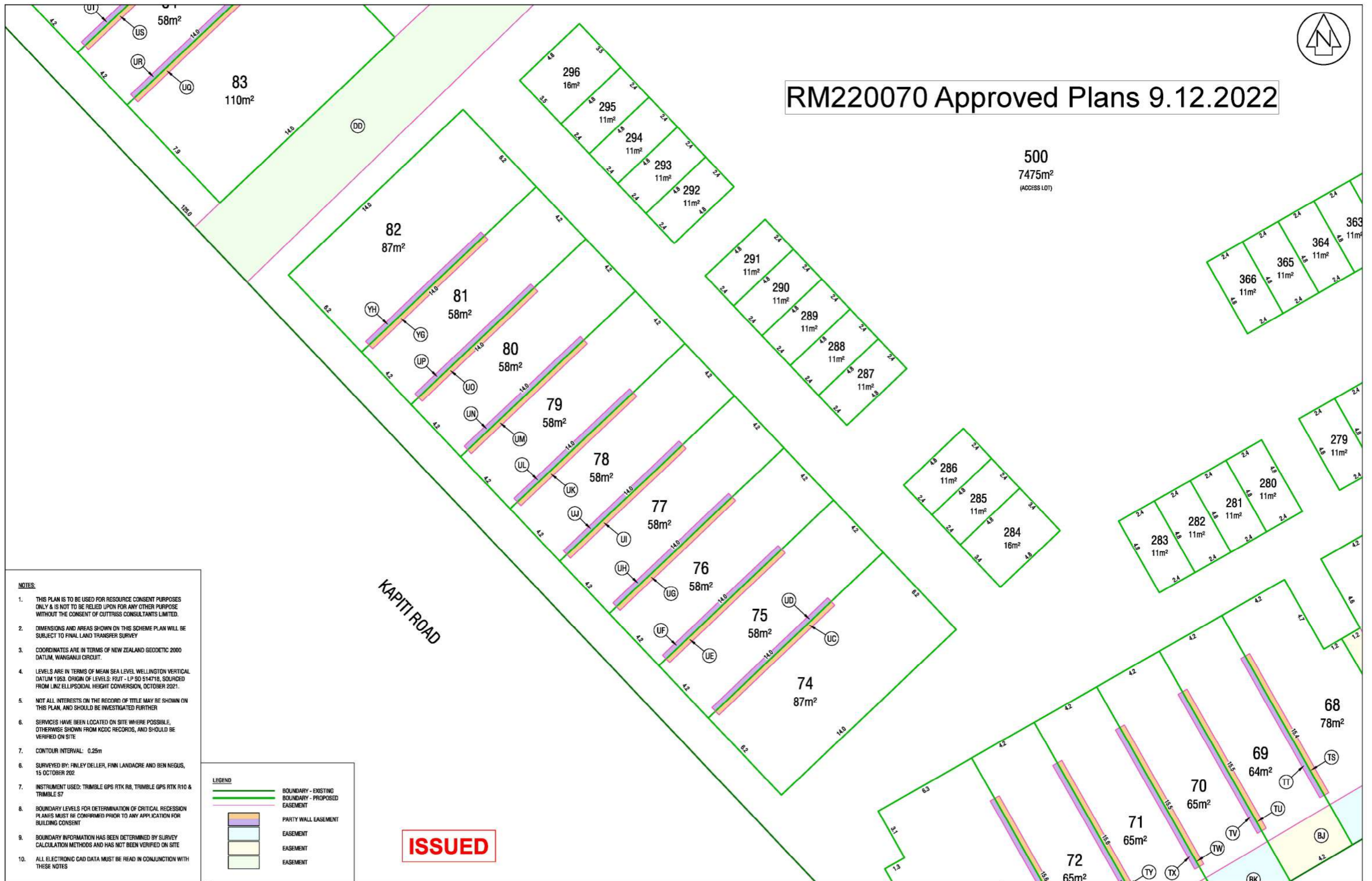
PROJECT  
CLIENT

**PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - LEGAL**  
**GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE A1 1:100		REDUCED SCALE A3 - 1:200	
A	KDCG UPDATES	CMB	05/22	FIELDWORK	FD	10/21	DRAWING NUMBER <b>22930 SCH1</b> SHEET 12 OF 27 SHEETS REVISION B
B	UNITS UPDATED	NKT	10/22	DESIGNED	CMB	12/21	
				DRAWN	JAO	02/22	
				CHECKED	NKT	02/22	

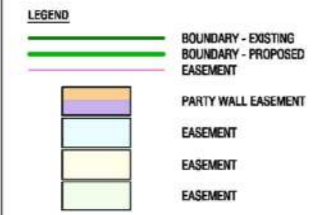


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PROJECT

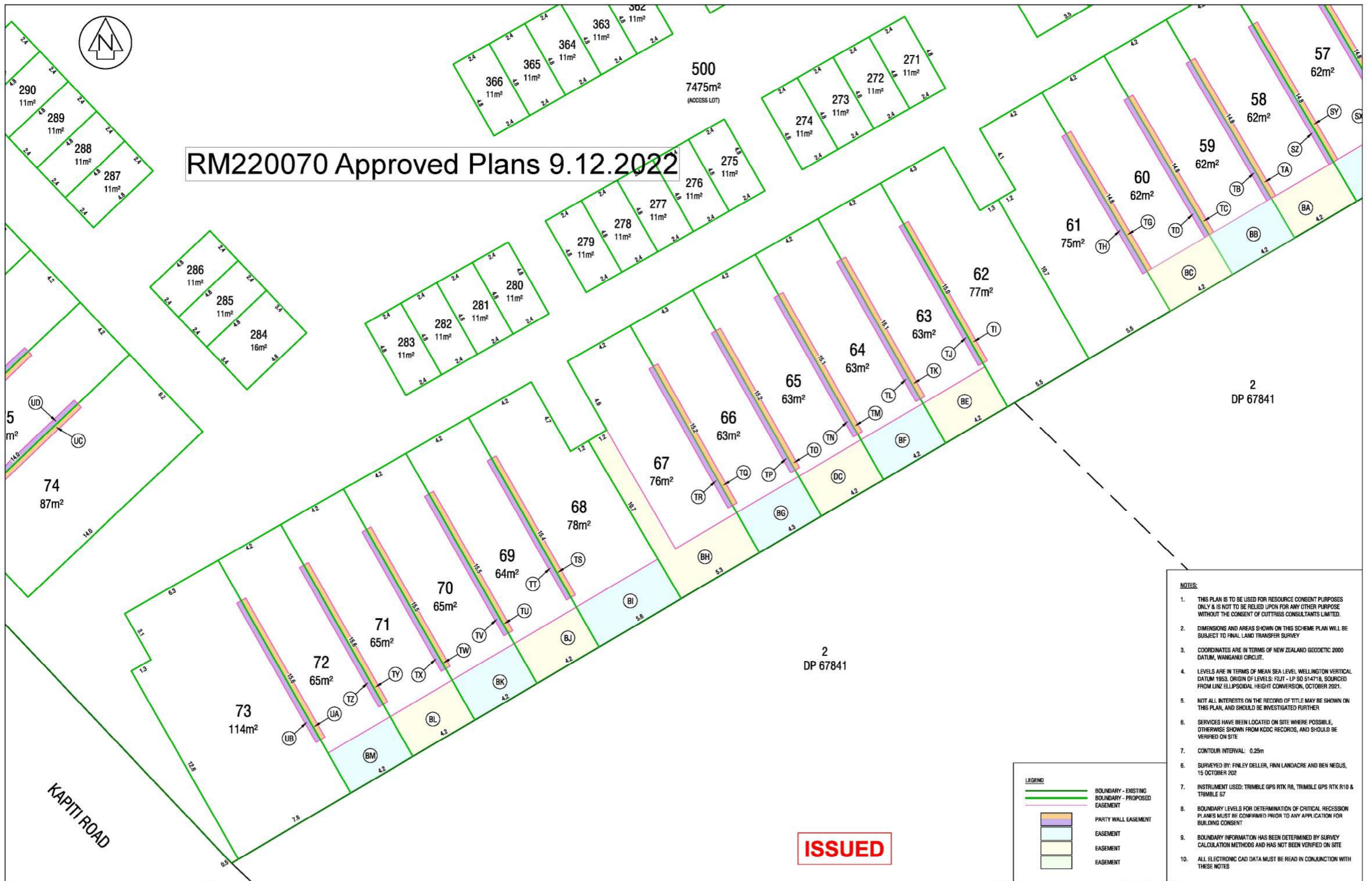
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**PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - LEGAL**  
**GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE	REDUCED SCALE
A	KDCDC UPDATES	CMB	05/22	A1 1:100	A3 - 1:200
B	UNITS UPDATED	NKT	10/22		

FIELDWORK	NAME	DATE	DRAWING NUMBER
DESIGNED	FD	10/21	22930 SCH1
DRAWN	CMB	12/21	
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	NKT	02/22	REVISION B



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**LEGEND**

	BOUNDARY - EXISTING
	BOUNDARY - PROPOSED
	EASEMENT
	PARTY WALL EASEMENT
	EASEMENT
	EASEMENT
	EASEMENT



PROJECT  
 CLIENT

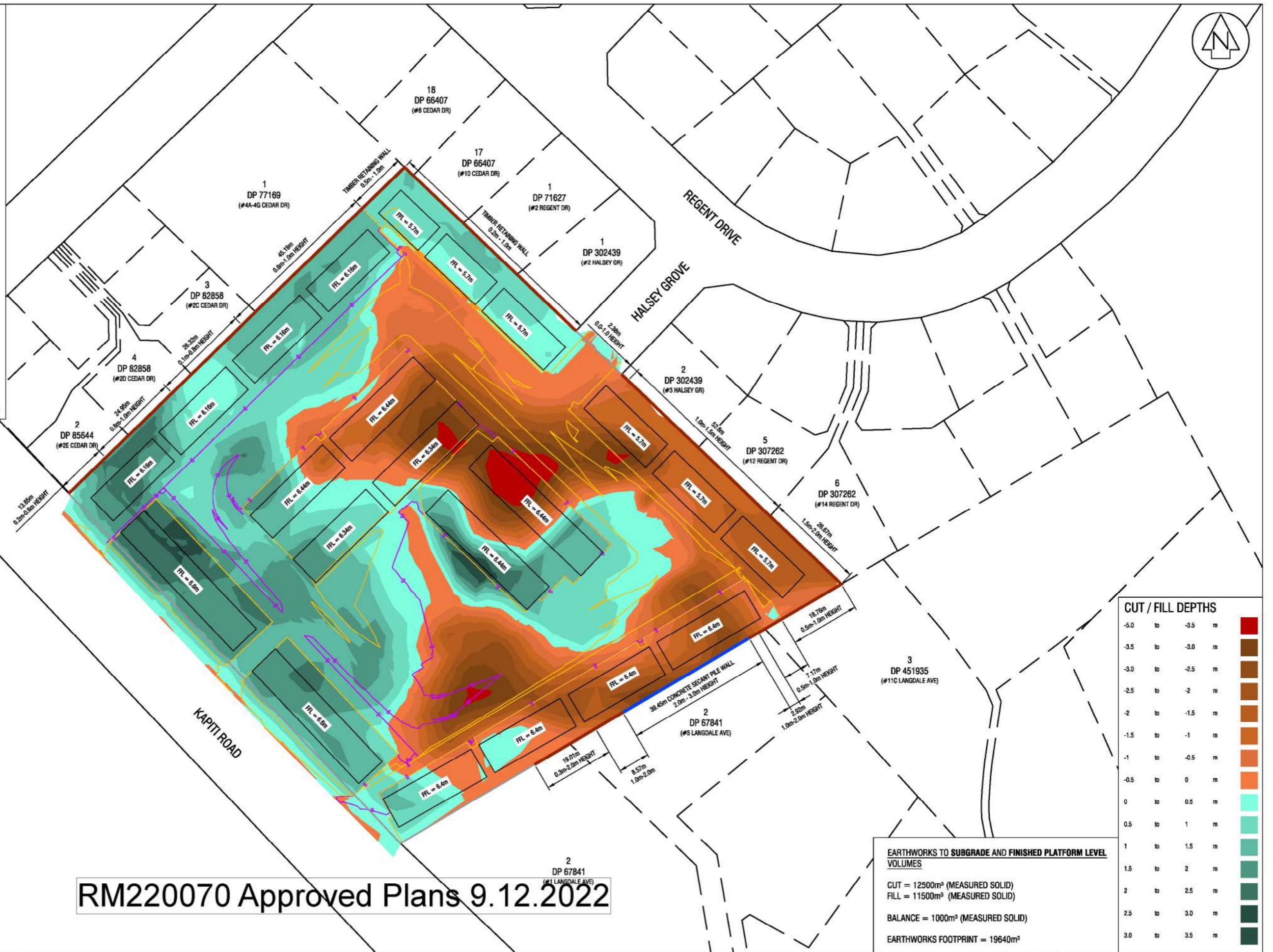
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 GRESHAM TRUST

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DRAWING NUMBER <b>22930 SCH1</b>		SHEET <b>14</b> OF 27 SHEETS
REVISION		<b>B</b>

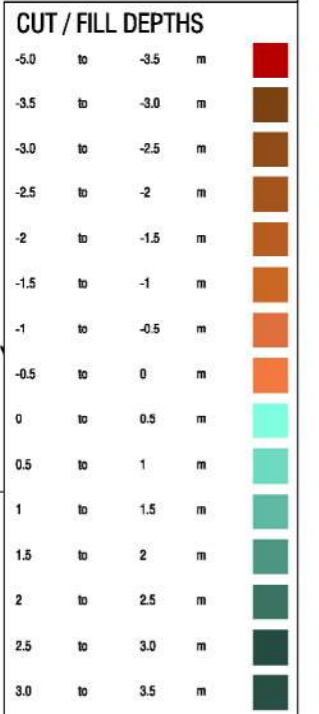
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- LEGEND**
- BOUNDARY - EXISTING
  - BOUNDARY - PROPOSED
  - DESIGN CONTOURS
  - WALL - TIMBER RETAINING ON BOUNDARY
  - WALL - CONCRETE RETAINING ON BOUNDARY



**RM220070 Approved Plans 9.12.2022**

**ISSUED**



**EARTHWORKS TO SUBGRADE AND FINISHED PLATFORM LEVEL VOLUMES**

CUT = 12500m<sup>3</sup> (MEASURED SOLID)  
 FILL = 11500m<sup>3</sup> (MEASURED SOLID)

BALANCE = 1000m<sup>3</sup> (MEASURED SOLID)

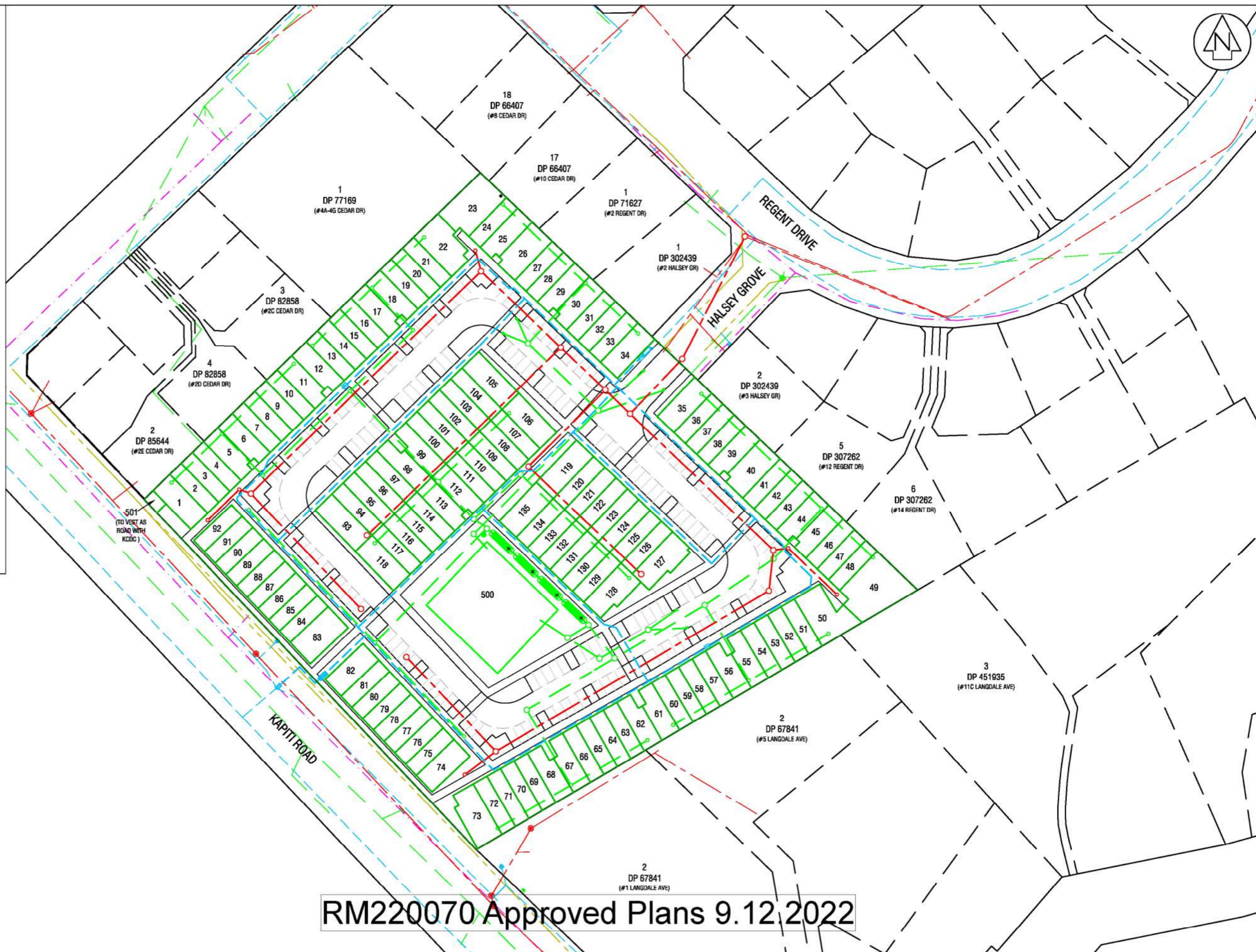
EARTHWORKS FOOTPRINT = 19640m<sup>2</sup>

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12. ALL ELECTRONIC CAD DATA MUST BE READ IN CONJUNCTION WITH THESE NOTES

**LEGEND**

- BOUNDARY - EXISTING
- BOUNDARY - PROPOSED
- SEWER MANHOLE - EXISTING
- SEWER MANHOLE - PROPOSED
- SEWER LINE - EXISTING
- SEWER LINE - PROPOSED
- STORMWATER MANHOLE - EXISTING
- STORMWATER MANHOLE - PROPOSED
- STORMWATER LINE - EXISTING
- STORMWATER LINE - PROPOSED
- STORMWATER LINE - PRIVATE SUMP
- WATER LINE - EXISTING
- WATER LINE - PROPOSED
- TODY
- FIRE HYDRANT
- SLUICE VALVE
- POWER PILLAR/TUD
- POWER LINE
- TELECOMMUNICATIONS PILLAR/TUD
- TELECOMMUNICATIONS LINE



**RM220070 Approved Plans 9.12.2022**

**ISSUED**

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PROJECT

CLIENT

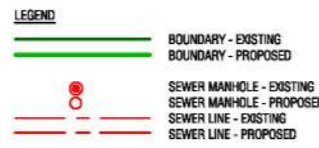
**PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - SERVICES OVERALL**  
**GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE A1 1:500		REDUCED SCALE A3 - 1:1000	
A	KDCDC UPDATES	CMB	05/22	FIELDWORK	FD	10/21	DRAWING NUMBER <b>22930 SCH1</b> SHEET 17 OF 27 SHEETS REVISION B
B	UNITS UPDATED	NKT	10/22	DESIGNED	CMB	12/21	
				DRAWN	JAO	02/22	
				CHECKED	NKT	02/22	

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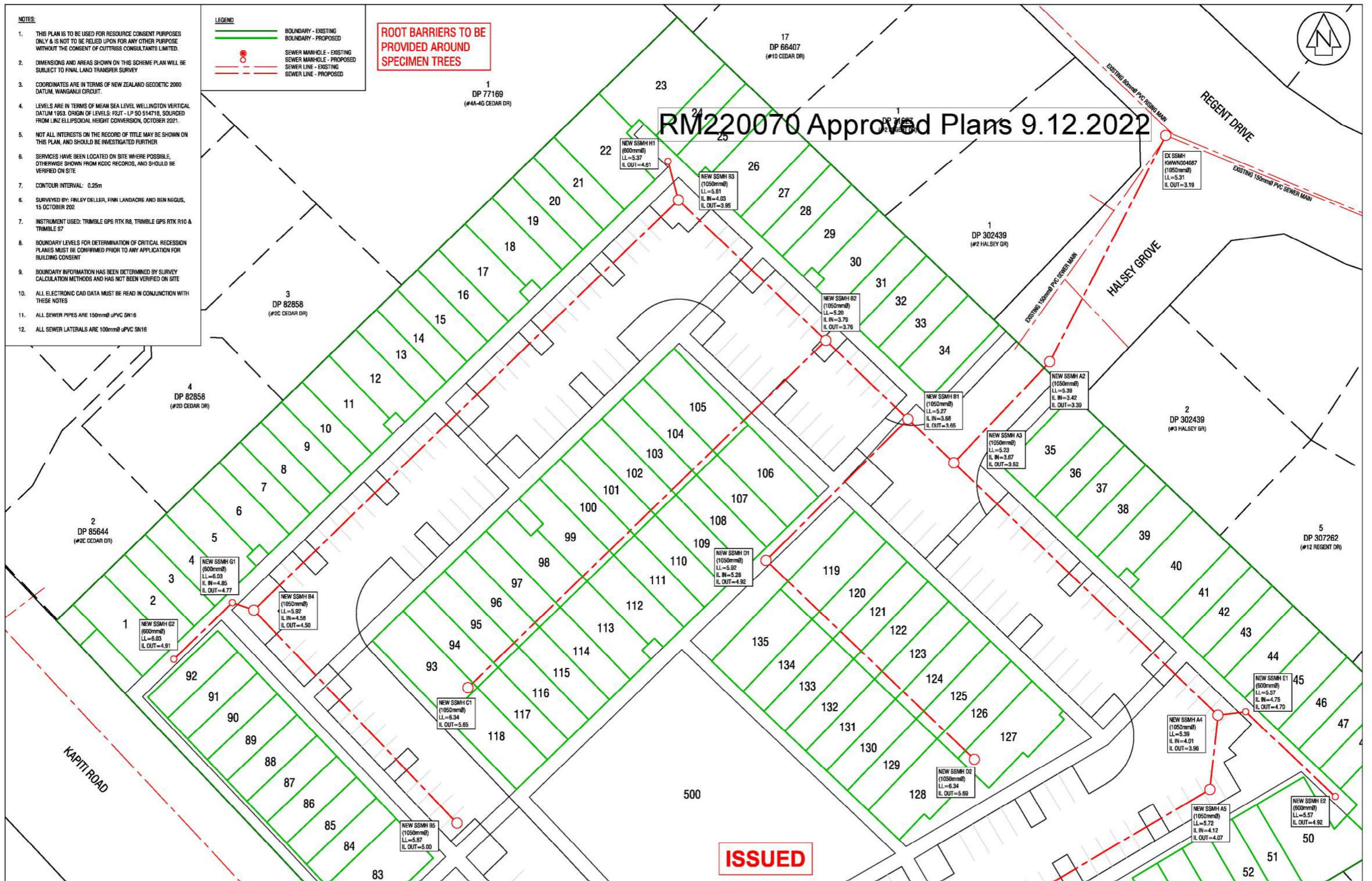


- NOTES:**
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  2. DIMENSIONS AND AREAS SHOWN ON THIS SCHEME PLAN WILL BE SUBJECT TO FINAL LAND TRANSFER SURVEY
  3. COORDINATES ARE IN TERMS OF NEW ZEALAND GEODETIC 2000 DATUM, WANGANUI CIRCUIT.
  4. LEVELS ARE IN TERMS OF MEAN SEA LEVEL WELLINGTON VERTICAL DATUM 1953. ORIGIN OF LEVELS: F2UT - LP 50 514719, SOURCED FROM LINZ ELLIPSOIDAL HEIGHT CONVERSION, OCTOBER 2021.
  5. NOT ALL INTERESTS ON THE RECORD OF TITLE MAY BE SHOWN ON THIS PLAN, AND SHOULD BE INVESTIGATED FURTHER
  6. SERVICES HAVE BEEN LOCATED ON SITE WHERE POSSIBLE, OTHERWISE SHOWN FROM KDCDC RECORDS, AND SHOULD BE VERIFIED ON SITE
  7. CONTOUR INTERVAL: 0.25m
  8. SURVEYED BY: FINLEY DELLER, FINN LANDACRE AND BEN NEGUS, 15 OCTOBER 2022
  9. INSTRUMENT USED: TRIMBLE GPS RTK R8, TRIMBLE GPS RTK R10 & TRIMBLE S7
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  12. ALL ELECTRONIC CAD DATA MUST BE READ IN CONJUNCTION WITH THESE NOTES
  13. ALL SEWER PIPES ARE 150mmØ uPVC S/N16
  14. ALL SEWER LATERALS ARE 100mmØ uPVC S/N16



**ROOT BARRIERS TO BE PROVIDED AROUND SPECIMEN TREES**

**RM220070 Approved Plans 9.12.2022**



**ISSUED**

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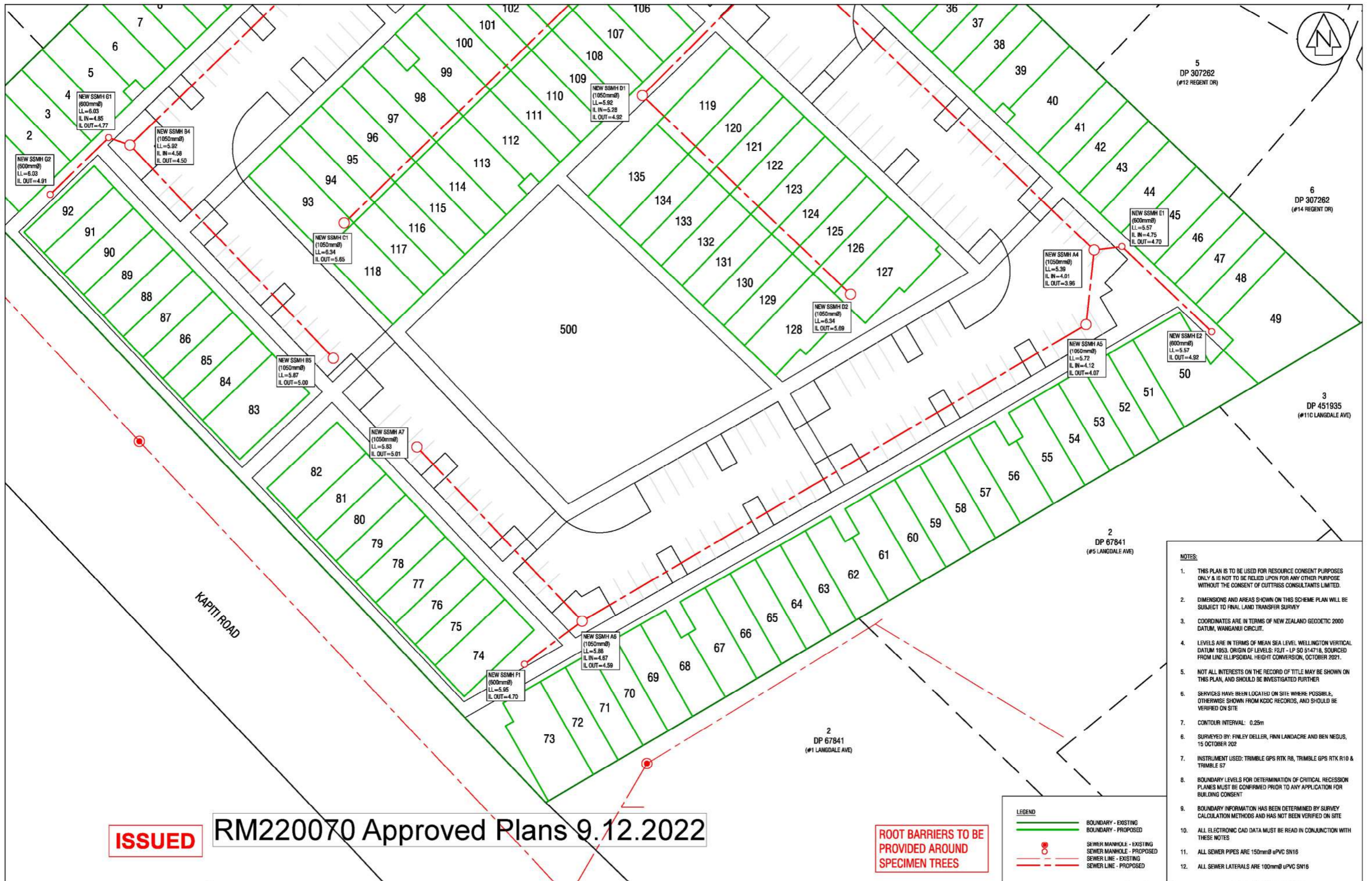
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PROJECT

**PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - SERVICES SEWER**  
**GRESHAM TRUST**

CLIENT

REVISION DETAILS		NAME	DATE	SCALE	
A	KDCDC UPDATES	CMB	05/22	A1 1:250	REDUCED SCALE A3 - 1:500
B	UNITS UPDATED	NKT	10/22		
				FIELDWORK	FD 10/21
				DESIGNED	CMB 12/21
				DRAWN	JAO 02/22
				CHECKED	NKT 02/22
				DRAWING NUMBER	
				22930 SCH1	
				SHEET 18 OF 27 SHEETS	
				REVISION B	



**ISSUED**

**RM220070 Approved Plans 9.12.2022**

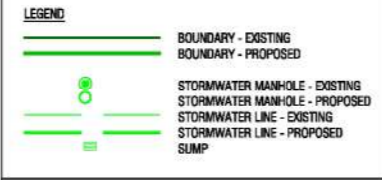
**ROOT BARRIERS TO BE PROVIDED AROUND SPECIMEN TREES**

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  6. SERVICES HAVE BEEN LOCATED ON SITE WHERE POSSIBLE, OTHERWISE SHOWN FROM KDC RECORDS, AND SHOULD BE VERIFIED ON SITE
  7. CONTOUR INTERVAL: 0.25m
  8. SURVEYED BY: FINLEY DELLER, FINN LANDACRE AND BEN NEGUS, 15 OCTOBER 202
  9. INSTRUMENT USED: TRIMBLE GPS RTK R6, TRIMBLE GPS RTK R10 & TRIMBLE S7
  10. BOUNDARY LEVELS FOR DETERMINATION OF CRITICAL RECESION PLANES MUST BE CONFIRMED PRIOR TO ANY APPLICATION FOR BUILDING CONSENT
  11. BOUNDARY INFORMATION HAS BEEN DETERMINED BY SURVEY CALCULATION METHODS AND HAS NOT BEEN VERIFIED ON SITE
  12. ALL ELECTRONIC CAD DATA MUST BE READ IN CONJUNCTION WITH THESE NOTES
  13. ALL SEWER PIPES ARE 150mmØ uPVC SNI6
  14. ALL SEWER LATERALS ARE 100mmØ uPVC SNI6

**LEGEND**

	BOUNDARY - EXISTING
	BOUNDARY - PROPOSED
	SEWER MANHOLE - EXISTING
	SEWER MANHOLE - PROPOSED
	SEWER LINE - EXISTING
	SEWER LINE - PROPOSED

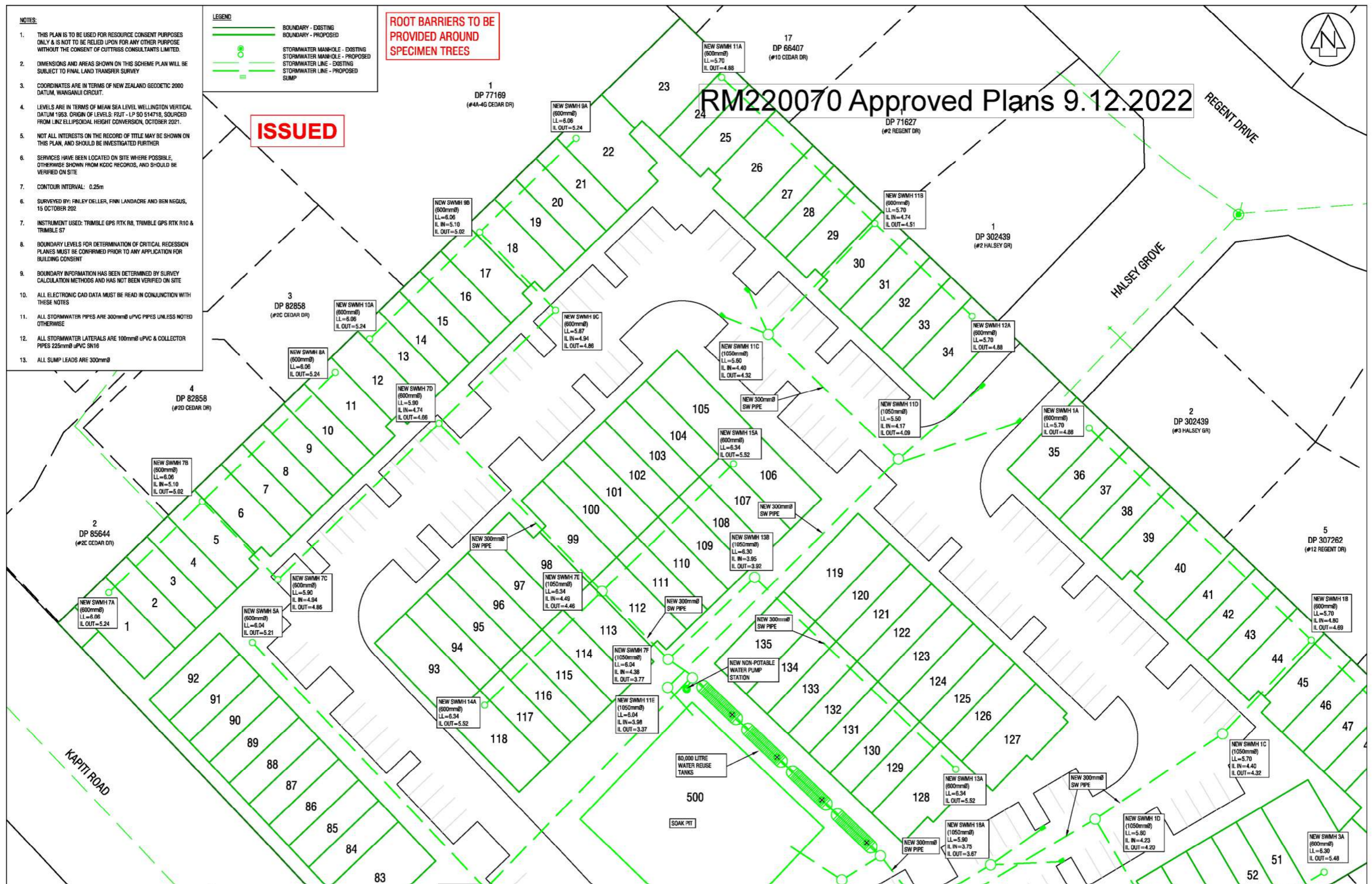
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  - SURVEYED BY: FINLEY DELLER, FINN LANDACRE AND BEN NEGUS, 15 OCTOBER 2022
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  - BOUNDARY INFORMATION HAS BEEN DETERMINED BY SURVEY CALCULATION METHODS AND HAS NOT BEEN VERIFIED ON SITE
  - ALL ELECTRONIC CAD DATA MUST BE READ IN CONJUNCTION WITH THESE NOTES
  - ALL STORMWATER PIPES ARE 300mmØ uPVC PIPES UNLESS NOTED OTHERWISE
  - ALL STORMWATER LATERALS ARE 100mmØ uPVC & COLLECTOR PIPES 225mmØ uPVC S/N16
  - ALL SUMP LEADS ARE 300mmØ



**ROOT BARRIERS TO BE PROVIDED AROUND SPECIMEN TREES**

**ISSUED**

**RM220070 Approved Plans 9.12.2022**



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PROJECT  
**PROPOSED SUBDIVISION**  
 LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU  
**SCHEME PLAN - SERVICES STORMWATER**  
 CLIENT  
**GRESHAM TRUST**

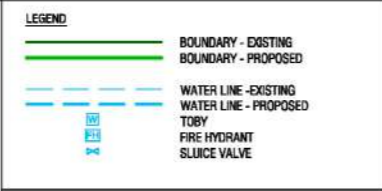
REVISION DETAILS		NAME	DATE	SCALE	
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B	UNITS UPDATED	NKT	10/22		

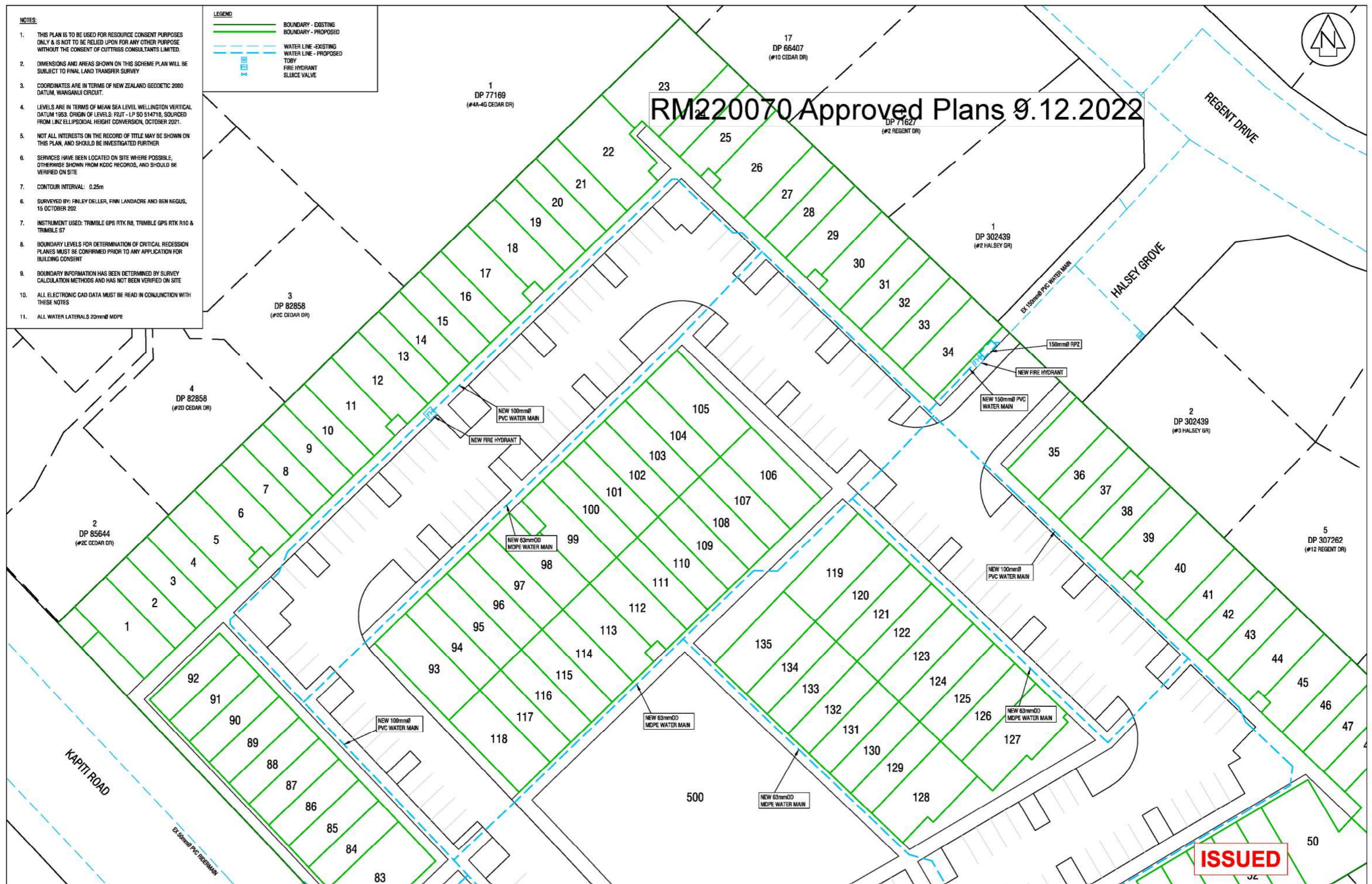
FIELDWORK	NAME	DATE	DRAWING NUMBER	
FD		10/21	22930 SCH1	
DESIGNED	CMB	12/21	SHEET 20 OF 27 SHEETS	
DRAWN	JAO	02/22	REVISION B	
CHECKED	NKT	02/22		



- NOTES:**
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  3. COORDINATES ARE IN TERMS OF NEW ZEALAND GEODETIC 2000 DATUM, WANGANUI CIRCUIT.
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  13. ALL WATER LATERALS 20mmØ MDPE



# RM220070 Approved Plans 9.12.2022



**ISSUED**

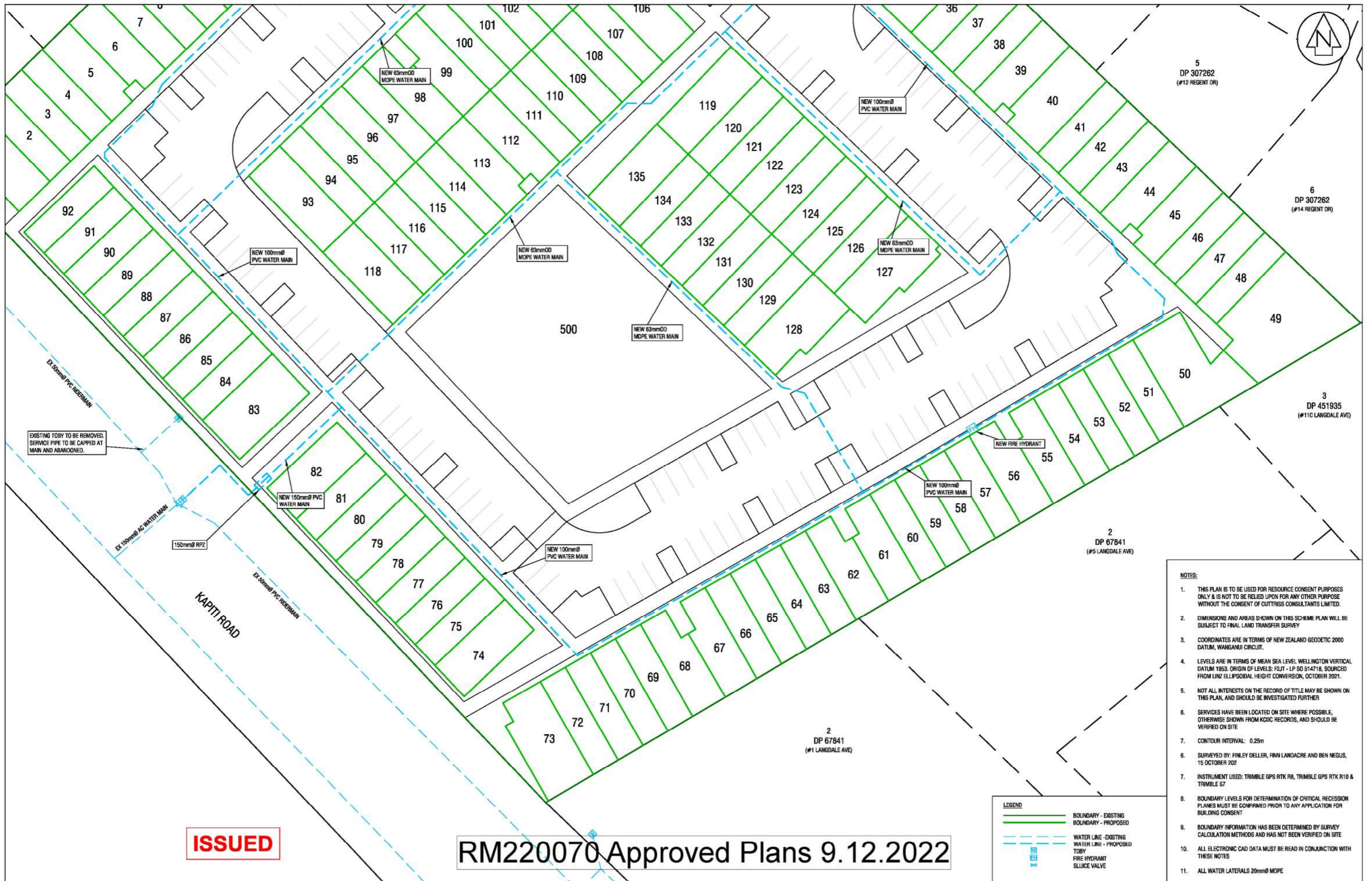
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PROJECT: **PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - SERVICES WATER**  
 CLIENT: **GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE	REDUCED SCALE
A	KDCDC UPDATES	CMB	05/22	A1 1:250	A3 - 1:500
B	UNITS UPDATED	NKT	10/22		

FIELDWORK	NAME	DATE	DRAWING NUMBER
DESIGNED	FD	10/21	22930 SCH1
DRAWN	CMB	12/21	
CHECKED	JAO	02/22	SHEET 22 OF 27 SHEETS
	NKT	02/22	REVISION B



EXISTING TOBY TO BE REMOVED. SERVICE PIPE TO BE CAPPED AT MAIN AND ABANDONED.

**ISSUED**

**RM220070 Approved Plans 9.12.2022**

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  - ALL WATER LATERALS 20mmØ MDPE

**LEGEND**

	BOUNDARY - EXISTING
	BOUNDARY - PROPOSED
	WATER LINE - EXISTING
	WATER LINE - PROPOSED
	TOBY
	FIRE HYDRANT
	SLUDGE VALVE

REVISION DETAILS		NAME	DATE
A	KCDC UPDATES	CMB	05/22
B	UNITS UPDATED	NKT	10/22

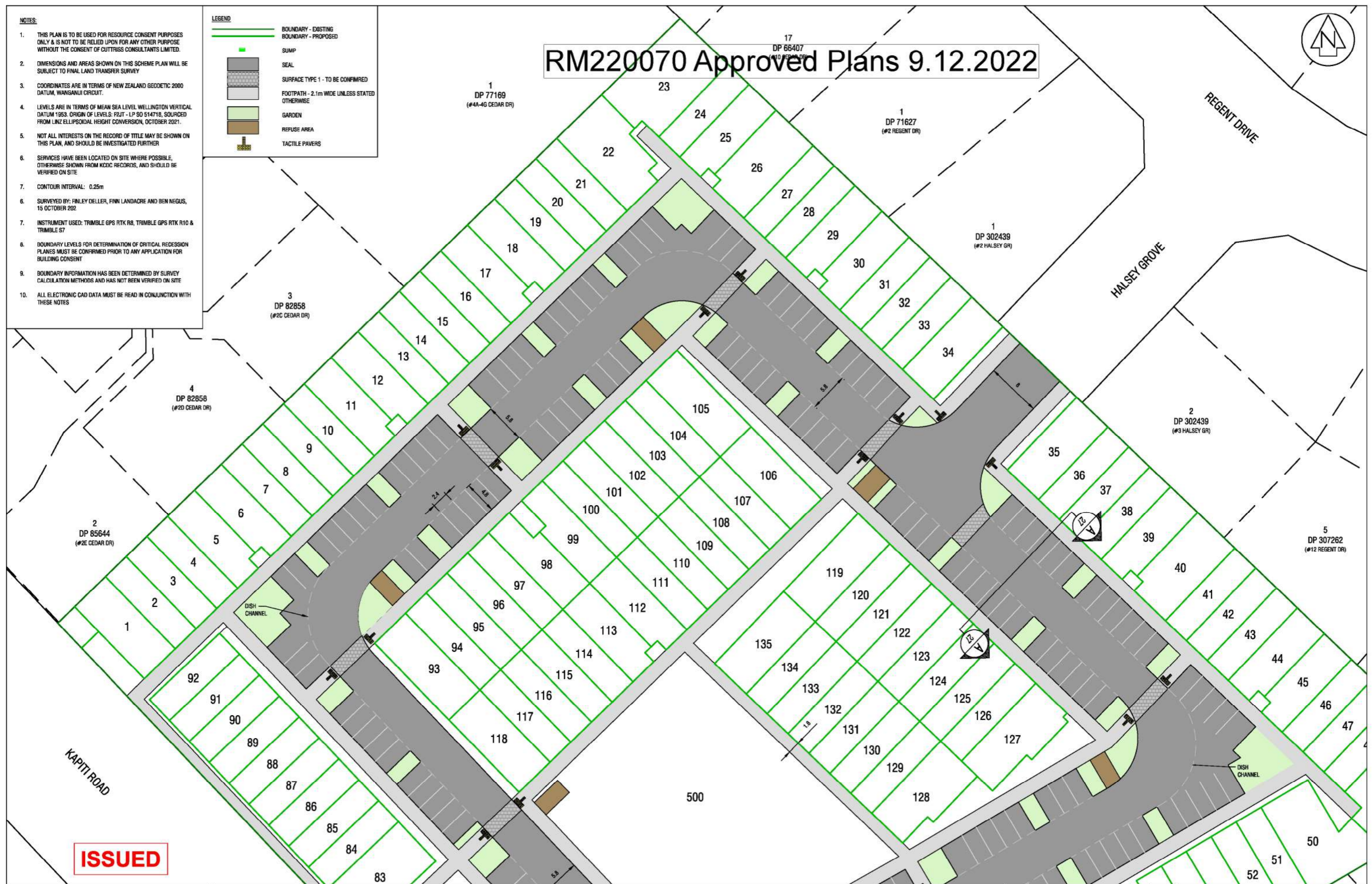
SCALE <b>A1 1:250</b>		REDUCED SCALE A3 - 1:500	
FIELDWORK	FD	10/21	<b>DRAWING NUMBER</b> <b>22930 SCH1</b>
DESIGNED	CMB	12/21	
DRAWN	JAO	02/22	
CHECKED	NKT	02/22	
SHEET <b>23</b> OF <b>27</b> SHEETS		REVISION	<b>B</b>

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**LEGEND**

- BOUNDARY - EXISTING
- BOUNDARY - PROPOSED
- SUMP
- SEAL
- SURFACE TYPE 1 - TO BE CONFIRMED
- FOOTPATH - 2.1m WIDE UNLESS STATED OTHERWISE
- GARDEN
- REFUSE AREA
- TACTILE PAVERS

# RM220070 Approved Plans 9.12.2022



**ISSUED**

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PROJECT  
 CLIENT

**PROPOSED SUBDIVISION**  
**LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU**  
**SCHEME PLAN - ROADING**  
**GRESHAM TRUST**

REVISION DETAILS		NAME	DATE	SCALE	REDUCED SCALE
A	KDCDC UPDATES	CMB	05/22	A1 1:250	A3 - 1:500
B	UNITS UPDATED	NKT	10/22		

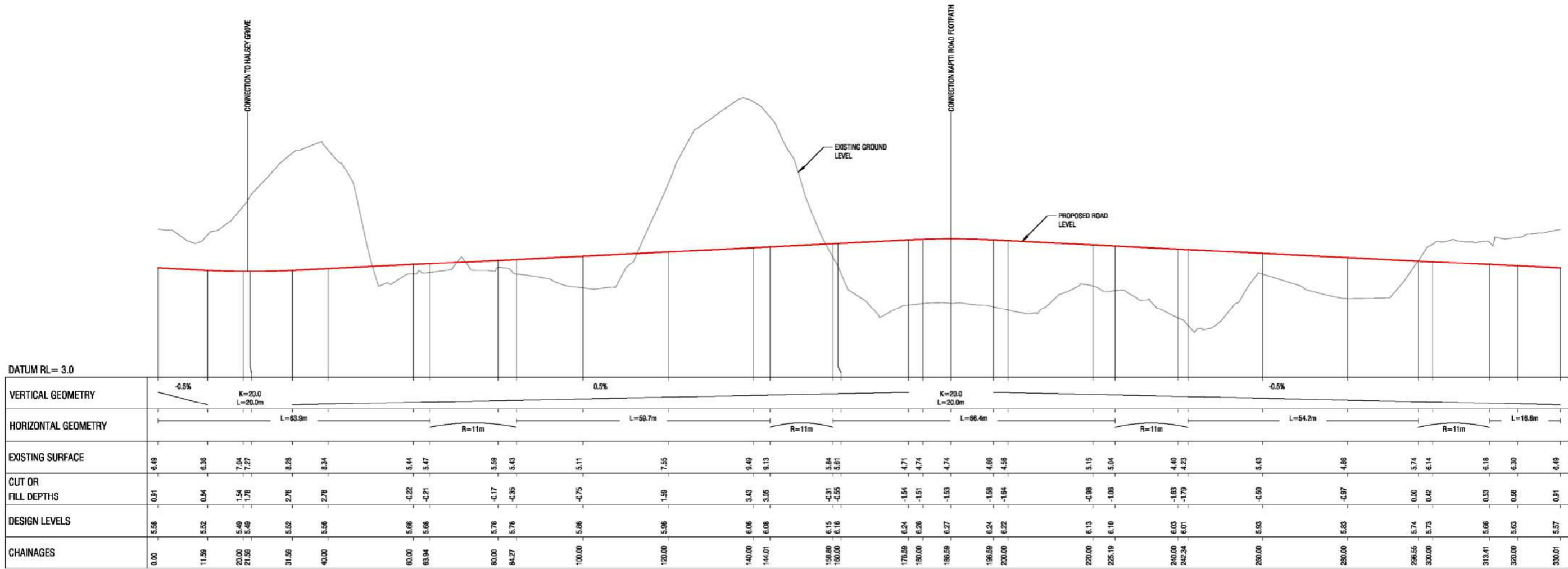
  

FIELDWORK	DESIGNED	DRAWN	CHECKED	NAME	DATE	DRAWING NUMBER
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				JAO	02/22	
				NKT	02/22	

SHEET 24 OF 27 SHEETS  
 REVISION B







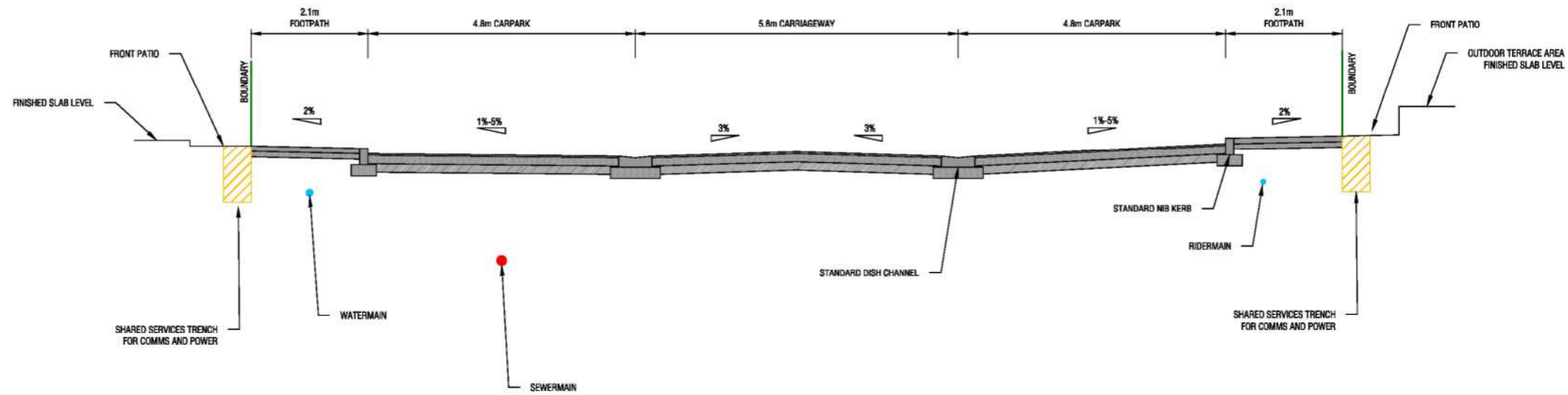
INTERNAL RING ROAD - LONG SECTION  
1:500 H, 1:50 V

# RM220070 Approved Plans 9.12.2022

**ISSUED**

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**ISSUED**



PROJECT: PROPOSED SUBDIVISION  
 LOT 1 DP 88870, 240 KAPITI ROAD, PARAPARAUMU  
**SCHEME PLAN - ROADING TYPICAL CROSS SECTION A-A**  
 CLIENT: GRESHAM TRUST

REVISION DETAILS		NAME	DATE	Copyright Cuttriss Consultants Limited	
A	KCDC UPDATES	CMB	05/22	SCALE <b>A1 1:50</b>	REDUCED SCALE A3 - 1:100
B	UNITS UPDATED	NKT	10/22	FIELDWORK	NAME DATE
				DESIGNED	CMB 12/21
				DRAWN	JAO 02/22
				CHECKED	NKT 02/22
				DRAWING NUMBER <b>22930 SCH1</b>	
				SHEET <b>27</b> OF <b>27</b> SHEETS	
				REVISION <b>B</b>	

# RC03 REV.6

## REFERENCE PLAN

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:34:10 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

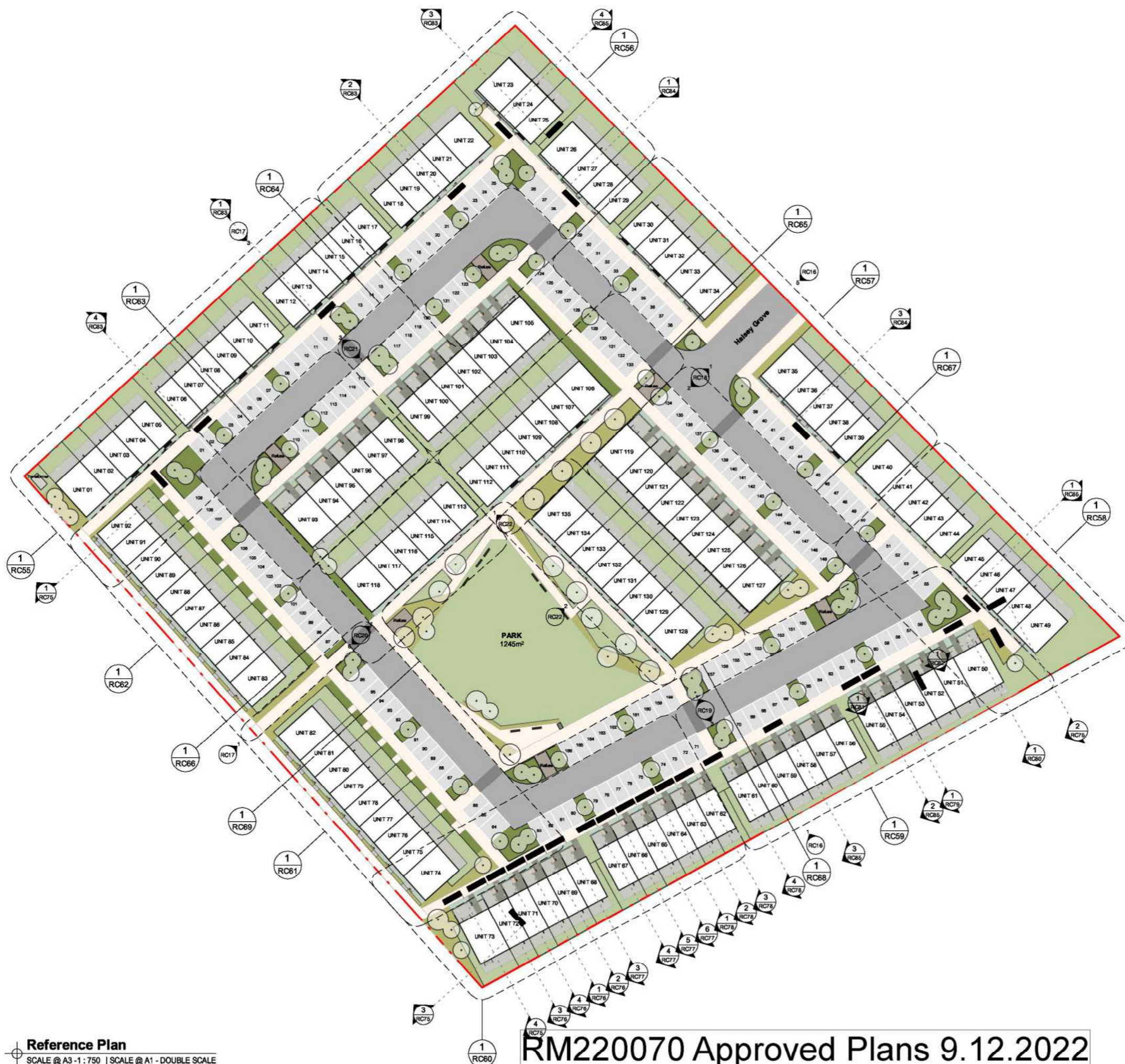
Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**Reference Plan**  
SCALE @ A3 - 1 : 750 | SCALE @ A1 - DOUBLE SCALE

**RM220070 Approved Plans 9.12.2022**

# RM220070 Approved Plans 9.12.2022



## RC04 REV.6

### REFERENCE PLAN - GROUND FLOOR - DESIGN CHANGES

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 3:34:51 PM**

- Dark Units**
- Accessible Carparks**
- Rear Unit Louvres**
- Reverse Roofline**
- Footpath Extension**

NO.	DESCRIPTION	DATE
6	Public Notification RF's	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



# RC05 REV.6

## REFERENCE PLAN - FIRST FLOOR - DESIGN CHANGES

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

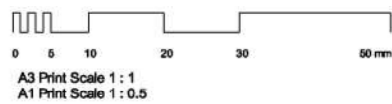
PROJECT No. **T875**  
PLOT DATE. **5/10/2022 3:35:29 PM**

- Dark Units**
- Accessible Carparks**
- Rear Unit Louvres**
- Reverse Roofline**
- Footpath Extension**

NO.	DESCRIPTION	DATE
6	Public Notification RF's	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

RM220070 Approved Plans 9.12.2022

**BLOCK PLAN - GROUND FLOOR**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:37:12 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

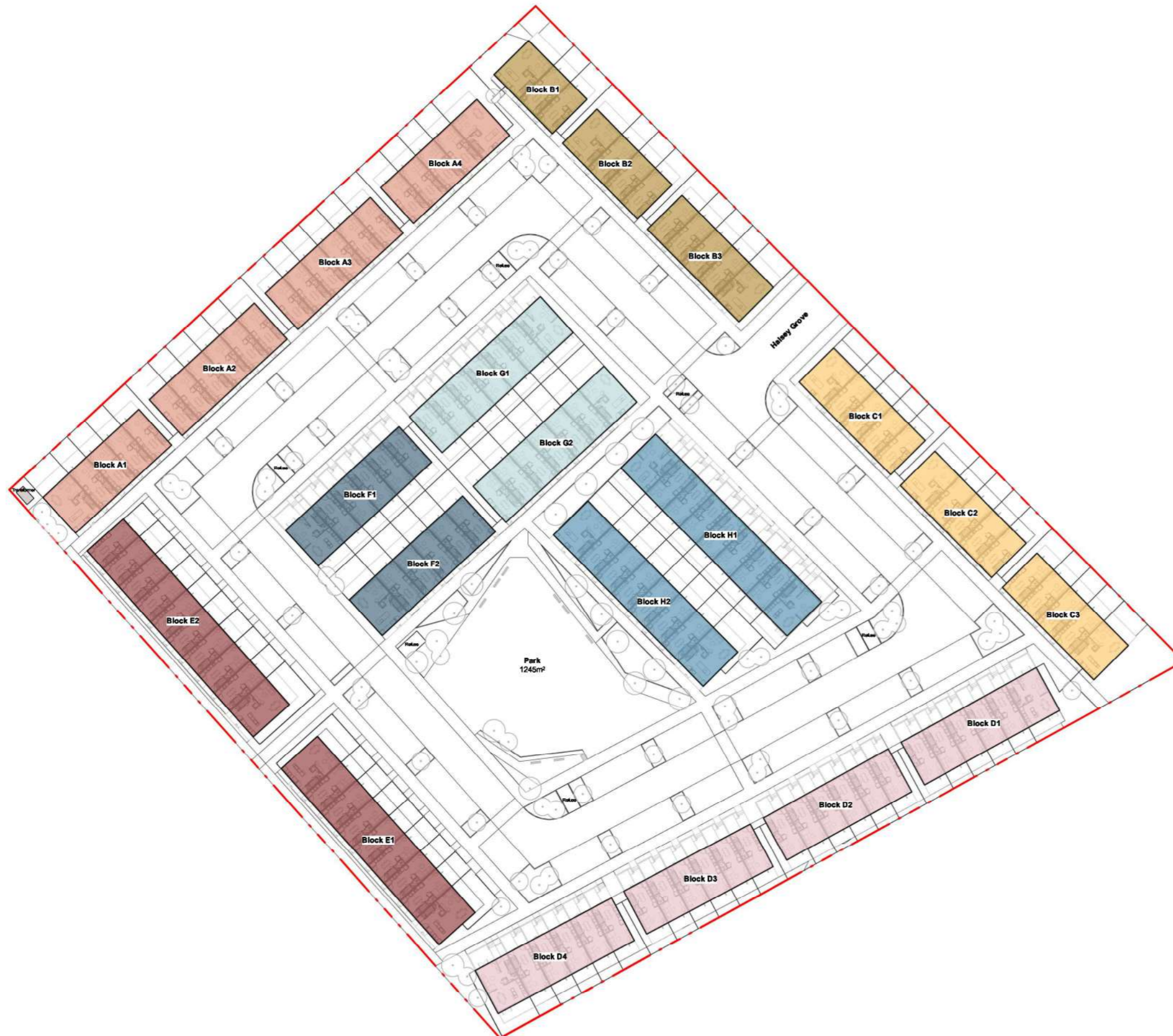
**Site Information**

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**Block Plan**  
SCALE @ A3 - 1 : 750 | SCALE @ A1 - DOUBLE SCALE

# RM220070 Approved Plans 9.12.2022

**RC07** REV.6

**BLOCK PLAN - FIRST FLOOR**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

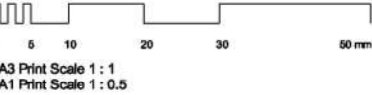
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 3:39:34 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

**Site Information**

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**Block Plan**  
SCALE @ A3 - 1 : 750 | SCALE @ A1 - DOUBLE SCALE

## TYPE PLAN - GROUND FLOOR

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:41:20 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h

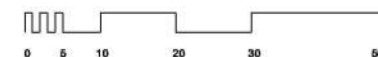
Climate Zone: 2

Corrosion Zone: C

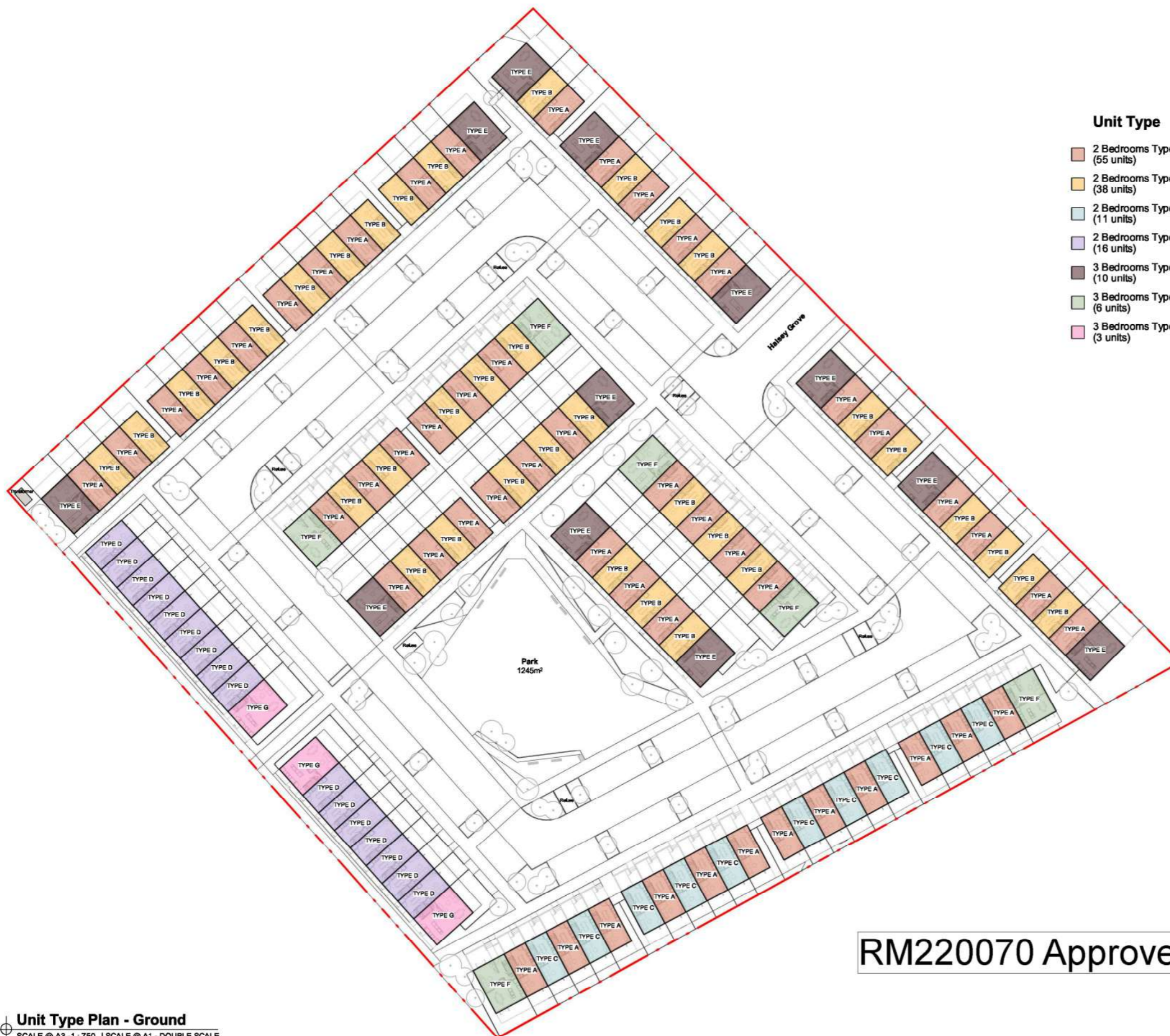
Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5



Unit Type	Unit Area
2 Bedrooms Type A ( <i>front cantilever</i> ) (55 units)	75m <sup>2</sup>
2 Bedrooms Type B ( <i>rear cantilever</i> ) (38 units)	75m <sup>2</sup>
2 Bedrooms Type C ( <i>no cantilever</i> ) (11 units)	75m <sup>2</sup>
2 Bedrooms Type D ( <i>wing-wall overhang</i> ) (16 units)	72m <sup>2</sup>
3 Bedrooms Type E ( <i>front cantilever</i> ) (10 units)	109m <sup>2</sup>
3 Bedrooms Type F ( <i>no cantilever</i> ) (6 units)	106m <sup>2</sup>
3 Bedrooms Type G ( <i>wing-wall overhang</i> ) (3 units)	106m <sup>2</sup>

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Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

Unit Type Plan - Ground  
SCALE @ A3-1 : 750 | SCALE @ A1 - DOUBLE SCALE



## TYPE PLAN - FIRST FLOOR

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:43:07 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

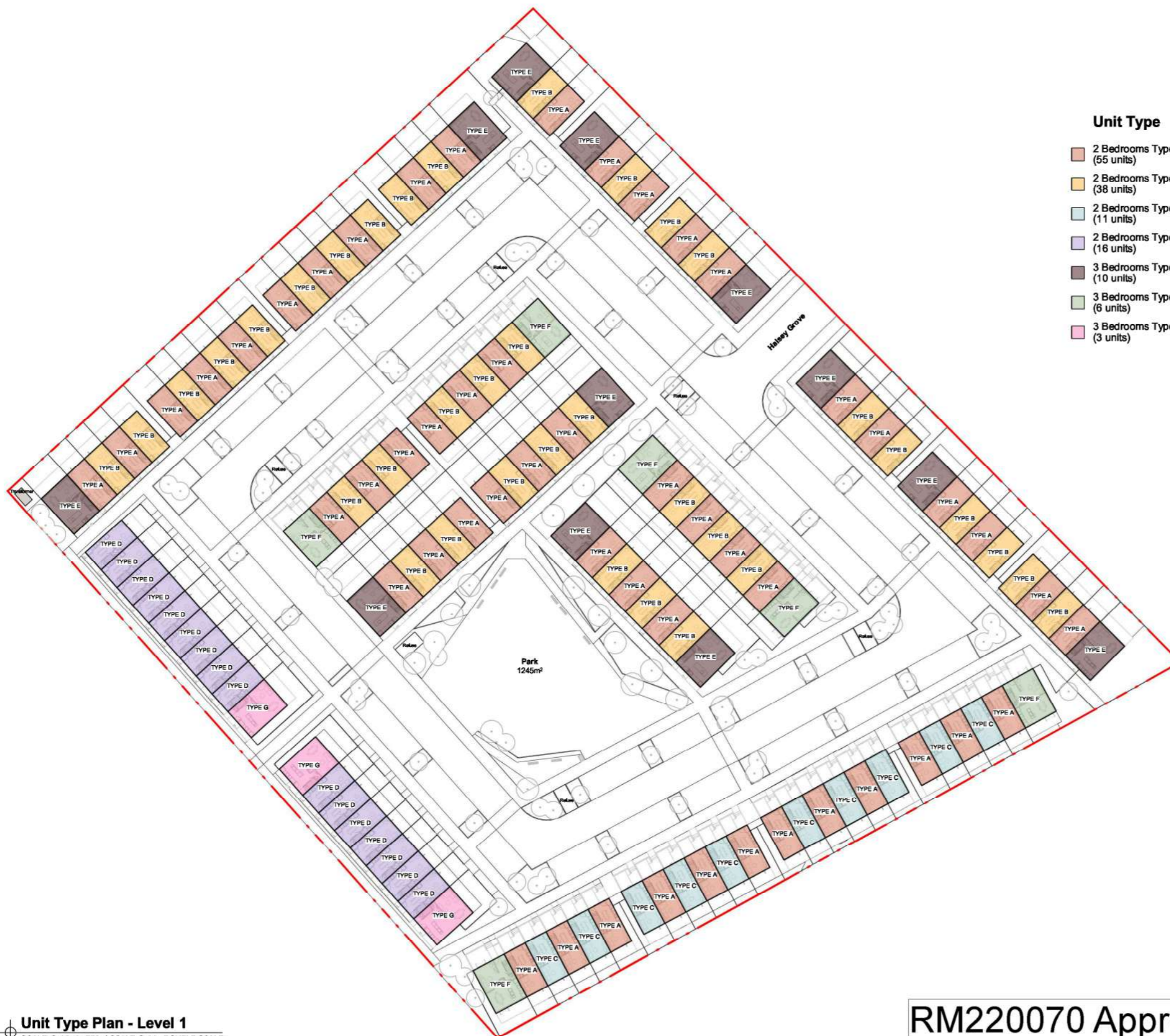
Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



## Unit Type

Unit Type	Unit Area
2 Bedrooms Type A ( <i>front cantilever</i> ) (55 units)	75m <sup>2</sup>
2 Bedrooms Type B ( <i>rear cantilever</i> ) (38 units)	75m <sup>2</sup>
2 Bedrooms Type C ( <i>no cantilever</i> ) (11 units)	75m <sup>2</sup>
2 Bedrooms Type D ( <i>wing-wall overhang</i> ) (16 units)	72m <sup>2</sup>
3 Bedrooms Type E ( <i>front cantilever</i> ) (10 units)	109m <sup>2</sup>
3 Bedrooms Type F ( <i>no cantilever</i> ) (6 units)	106m <sup>2</sup>
3 Bedrooms Type G ( <i>wing-wall overhang</i> ) (3 units)	106m <sup>2</sup>

## Unit Area

**Unit Type Plan - Level 1**  
SCALE @ A3-1:750 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

# RM220070 Approved Plans 9.12.2022

# RC10

REV.6

## UNIT PLAN - GROUND FLOOR

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 3:44:58 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



Unit Type	Unit Area
2 Bedrooms Type A ( <i>front cantilever</i> ) (41 units)	75m <sup>2</sup>
2 Bedrooms Type A-V ( <i>end unit variation</i> ) (5 units)	75m <sup>2</sup>
2 Bedrooms Type A-V2 ( <i>end unit variation 2</i> ) (6 units)	75m <sup>2</sup>
2 Bedrooms Type B ( <i>rear cantilever</i> ) (28 units)	75m <sup>2</sup>
2 Bedrooms Type B-V ( <i>end unit variation</i> ) (3 units)	75m <sup>2</sup>
2 Bedrooms Type B-V2 ( <i>end unit variation 2</i> ) (5 units)	75m <sup>2</sup>
2 Bedrooms Type C ( <i>no cantilever</i> ) (8 units)	75m <sup>2</sup>
2 Bedrooms Type C-V ( <i>end unit variation</i> ) (1 units)	75m <sup>2</sup>
2 Bedrooms Type C-V2 ( <i>end unit variation 2</i> ) (1 units)	75m <sup>2</sup>
2 Bedrooms Type D ( <i>wing-wall overhang</i> ) (15 units)	72m <sup>2</sup>
2 Bedrooms Type D-V ( <i>end unit variation</i> ) (1 unit)	72m <sup>2</sup>
3 Bedrooms Type E ( <i>front cantilever</i> ) (7 units)	109m <sup>2</sup>
3 Bedrooms Type E-M ( <i>mirror</i> ) (5 units)	109m <sup>2</sup>
3 Bedrooms Type F ( <i>no cantilever</i> ) (3 units)	106m <sup>2</sup>
3 Bedrooms Type F-M ( <i>mirror</i> ) (3 units)	106m <sup>2</sup>
3 Bedrooms Type G ( <i>wing-wall overhang</i> ) (2 units)	106m <sup>2</sup>
3 Bedrooms Type G-M ( <i>mirror</i> ) (1 unit)	106m <sup>2</sup>

# RM220070 Approved Plans 9.12.2022

**RC11** REV.6



Unit Type	Unit Area
2 Bedrooms Type A ( <i>front cantilever</i> ) (41 units)	75m <sup>2</sup>
2 Bedrooms Type A-V ( <i>end unit variation</i> ) (5 units)	75m <sup>2</sup>
2 Bedrooms Type A-V2 ( <i>end unit variation 2</i> ) (6 units)	75m <sup>2</sup>
2 Bedrooms Type B ( <i>rear cantilever</i> ) (28 units)	75m <sup>2</sup>
2 Bedrooms Type B-V ( <i>end unit variation</i> ) (3 units)	75m <sup>2</sup>
2 Bedrooms Type B-V2 ( <i>end unit variation 2</i> ) (5 units)	75m <sup>2</sup>
2 Bedrooms Type C ( <i>no cantilever</i> ) (8 units)	75m <sup>2</sup>
2 Bedrooms Type C-V ( <i>end unit variation</i> ) (1 units)	75m <sup>2</sup>
2 Bedrooms Type C-V2 ( <i>end unit variation 2</i> ) (1 units)	75m <sup>2</sup>
2 Bedrooms Type D ( <i>wing-wall overhang</i> ) (15 units)	72m <sup>2</sup>
2 Bedrooms Type D-V ( <i>end unit variation</i> ) (1 unit)	72m <sup>2</sup>
3 Bedrooms Type E ( <i>front cantilever</i> ) (7 units)	109m <sup>2</sup>
3 Bedrooms Type E-M ( <i>mirror</i> ) (5 units)	109m <sup>2</sup>
3 Bedrooms Type F ( <i>no cantilever</i> ) (3 units)	106m <sup>2</sup>
3 Bedrooms Type F-M ( <i>mirror</i> ) (3 units)	106m <sup>2</sup>
3 Bedrooms Type G ( <i>wing-wall overhang</i> ) (2 units)	106m <sup>2</sup>
3 Bedrooms Type G-M ( <i>mirror</i> ) (1 unit)	106m <sup>2</sup>

## UNIT PLAN - FIRST FLOOR

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 3:47:27 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

## Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington +64 4 920 0032 wn@dgse.co.nz  
Palmerston North +64 6 357 4534 pn@dgse.co.nz  
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Auckland +64 9 978 8288 ak@dgse.co.nz



RM220070 Approved Plans 9.12.2022

# RC12 REV.6

## CONTEXT PLAN - GROUND FLOOR

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 3:48:13 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



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# RC13

REV.6

## CONTEXT PLAN - FIRST FLOOR

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:48:48 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



# RM220070 Approved Plans 9.12.2022

## RC14 REV.6

### SITE PLAN - GROUND FLOOR

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 3:50:40 PM**

6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022
NO.	DESCRIPTION	DATE

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

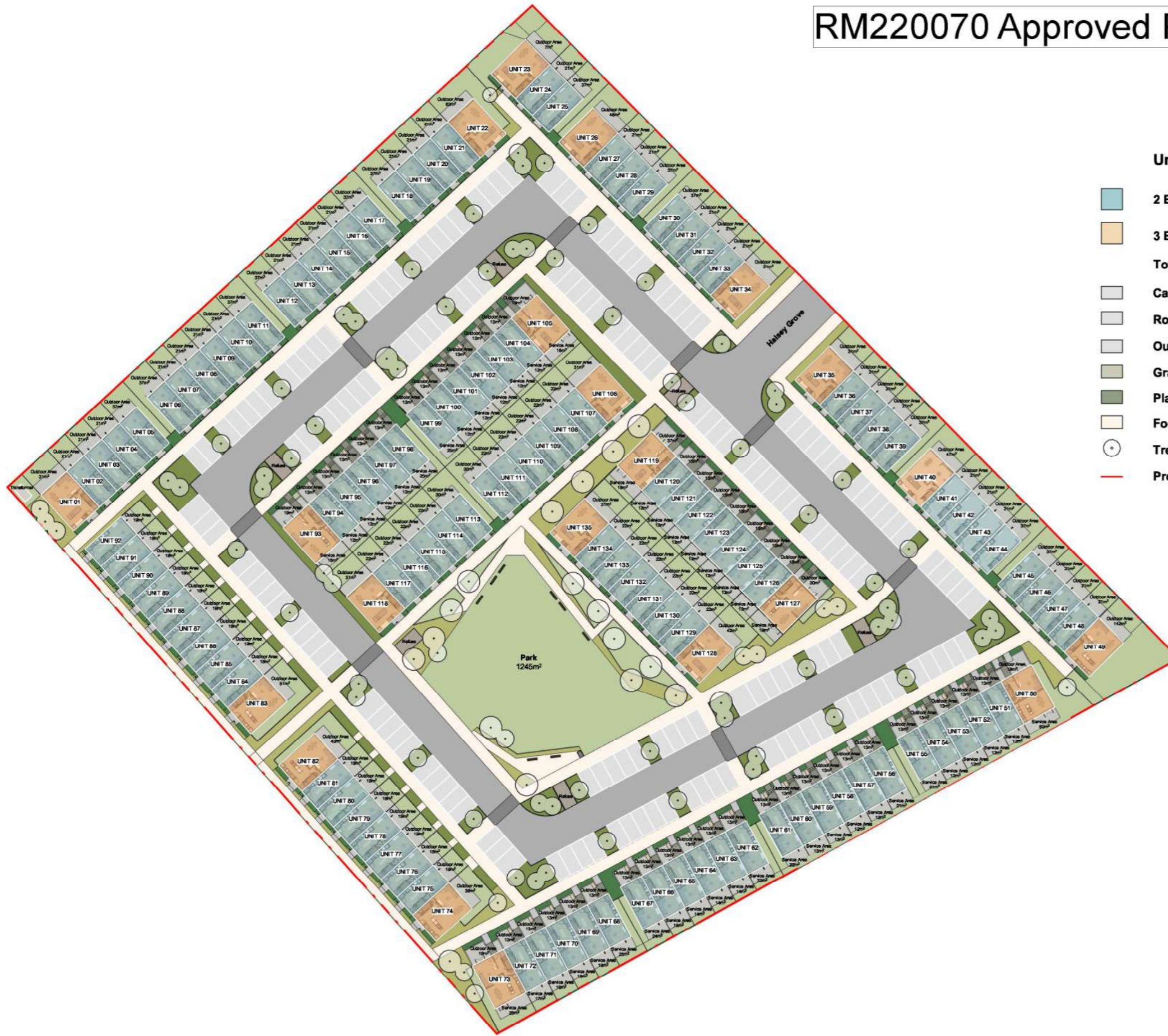
Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



Unit Type	No.	Unit Area
2 Bedroom	114	72m <sup>2</sup> - 75m <sup>2</sup>
3 Bedroom	21	106m <sup>2</sup> - 109m <sup>2</sup>
<b>Total:</b>	<b>135</b>	
Carparks	165	
Road		
Outdoor Living Patio		
Grass		
Planting / Landscaping		
Footpath		
Tree		
Property Line		

# RM220070 Approved Plans 9.12.2022

# RC15

REV.6

## SITE PLAN - FIRST FLOOR

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:53:08 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



Unit Type	No.	Unit Area
2 Bedroom	114	72m <sup>2</sup> - 75m <sup>2</sup>
3 Bedroom	21	106m <sup>2</sup> - 109m <sup>2</sup>
<b>Total:</b>	<b>135</b>	
Carparks	165	
Road		
Outdoor Living Patio		
Grass		
Planting / Landscaping		
Footpath		
Tree		
Property Line		

8m Maximum Height Line



North Elevation

SCALE @ A3 -1 : 250 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

8m Maximum Height Line



North Elevation

SCALE @ A3 -1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



East Elevation

SCALE @ A3 -1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



East Elevation

SCALE @ A3 -1 : 250 | SCALE @ A1 - DOUBLE SCALE

# RC16 REV.6

## ELEVATIONS

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:53:31 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



8m Maximum Height Line



**South Elevation**

SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



**South Elevation**

SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

8m Maximum Height Line



**West Elevation**

SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



**West Elevation**

SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

# RC17

REV.6

## ELEVATIONS

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:53:54 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h

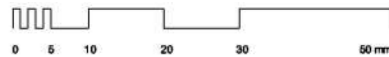
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RC18 REV.6

## ELEVATIONS

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

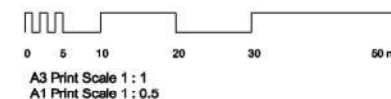
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 3:54:15 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington +64 4 920 0032 wn@dgse.co.nz  
Palmerston North +64 6 357 4534 pn@dgse.co.nz  
Tauranga +64 7 925 8238 tr@dgse.co.nz  
Napier +64 6 835 8173 np@dgse.co.nz  
Auckland +64 9 978 8288 ak@dgse.co.nz

8m Maximum Height Line



### Street Elevation North 01

SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

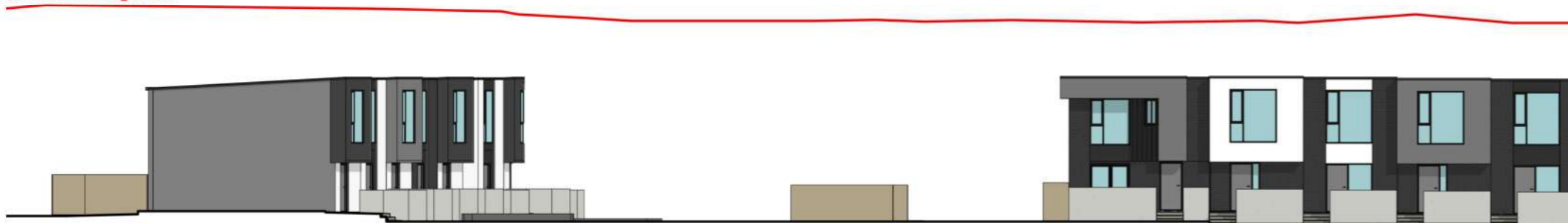
8m Maximum Height Line



### Street Elevation North 01

SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

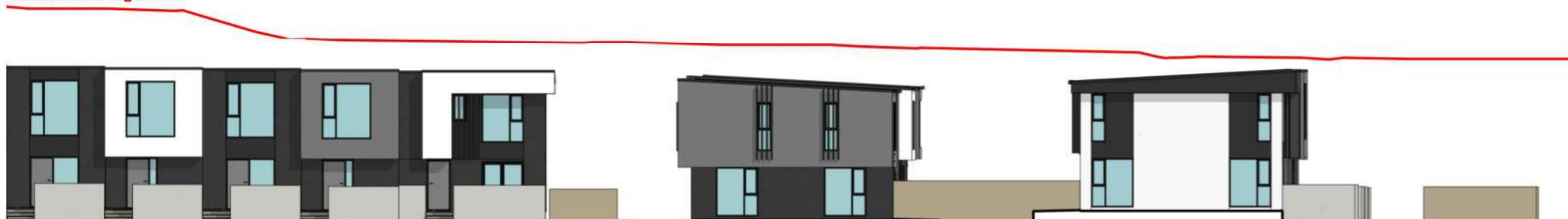
8m Maximum Height Line



### Street Elevation South 01

SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line

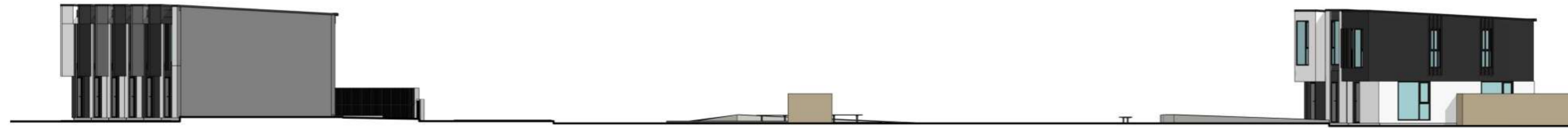


### Street Elevation South 01

SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

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8m Maximum Height Line



Street Elevation East 01  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



Street Elevation East 01  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



Street Elevation West 01  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



Street Elevation West 01  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

# RC19 REV.6

## ELEVATIONS

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:54:37 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

## ELEVATIONS

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:01 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h

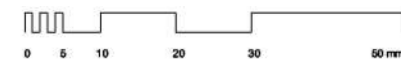
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



8m Maximum Height Line



### Street Elevation North 02

SCALE @ A3 -1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



### Street Elevation North 02

SCALE @ A3 -1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



### Street Elevation South 02

SCALE @ A3 -1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line

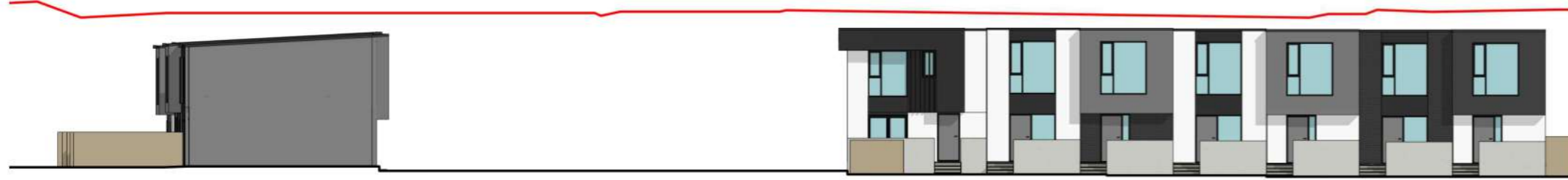


### Street Elevation South 02

SCALE @ A3 -1 : 250 | SCALE @ A1 - DOUBLE SCALE

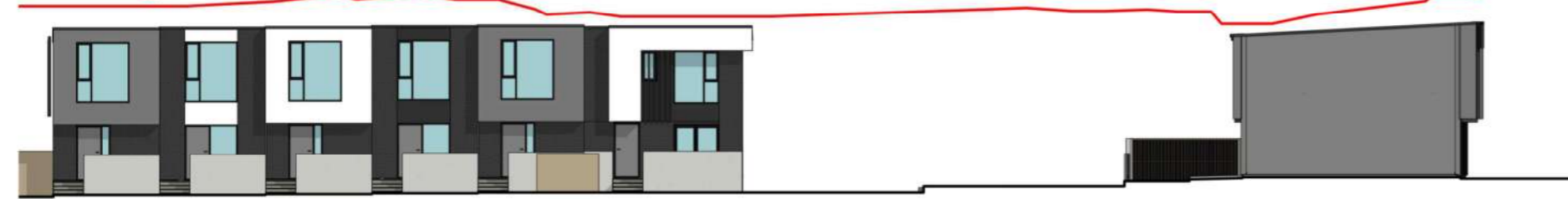
RM220070 Approved Plans 9.12.2022

8m Maximum Height Line



Street Elevation East 02  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



Street Elevation East 02  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

8m Maximum Height Line



Street Elevation West 02  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



Street Elevation West 02  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

# RC21 REV.6

## ELEVATIONS

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:24 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

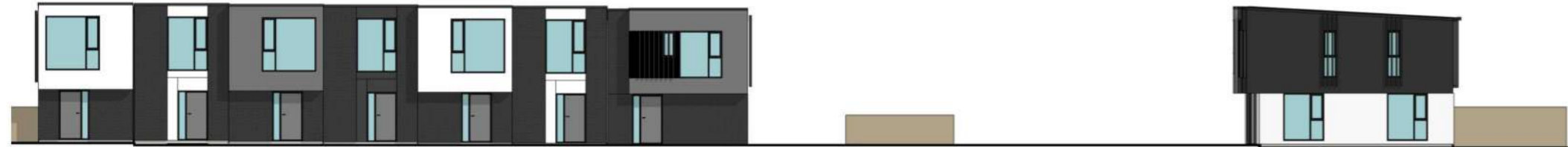
Wellington	+64 4 920 0032	wn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

8m Maximum Height Line



Footpath Elevation West 01  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



Footpath Elevation West 01  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

8m Maximum Height Line



Footpath Elevation South 01  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

# RC22 REV.6

## ELEVATIONS

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:41 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RC23 REV.6

## 2 BEDROOM UNIT - TYPE A

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:44 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

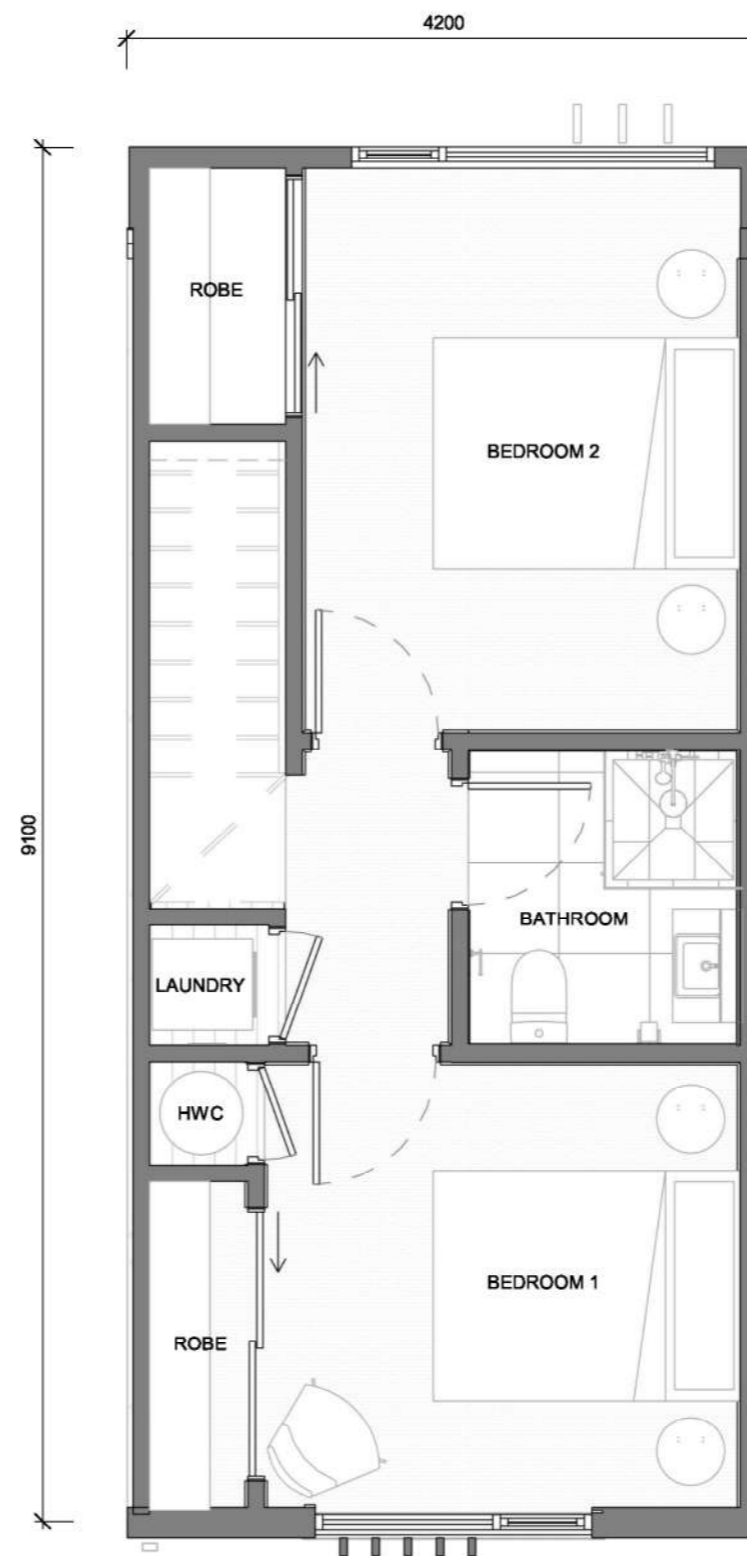
Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



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**2 Bed - Ground Floor - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bed - First Floor - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

# RM220070 Approved Plans 9.12.2022

**RC24** REV.6

**2 BEDROOM UNIT - TYPE B**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:47 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

**Site Information**

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

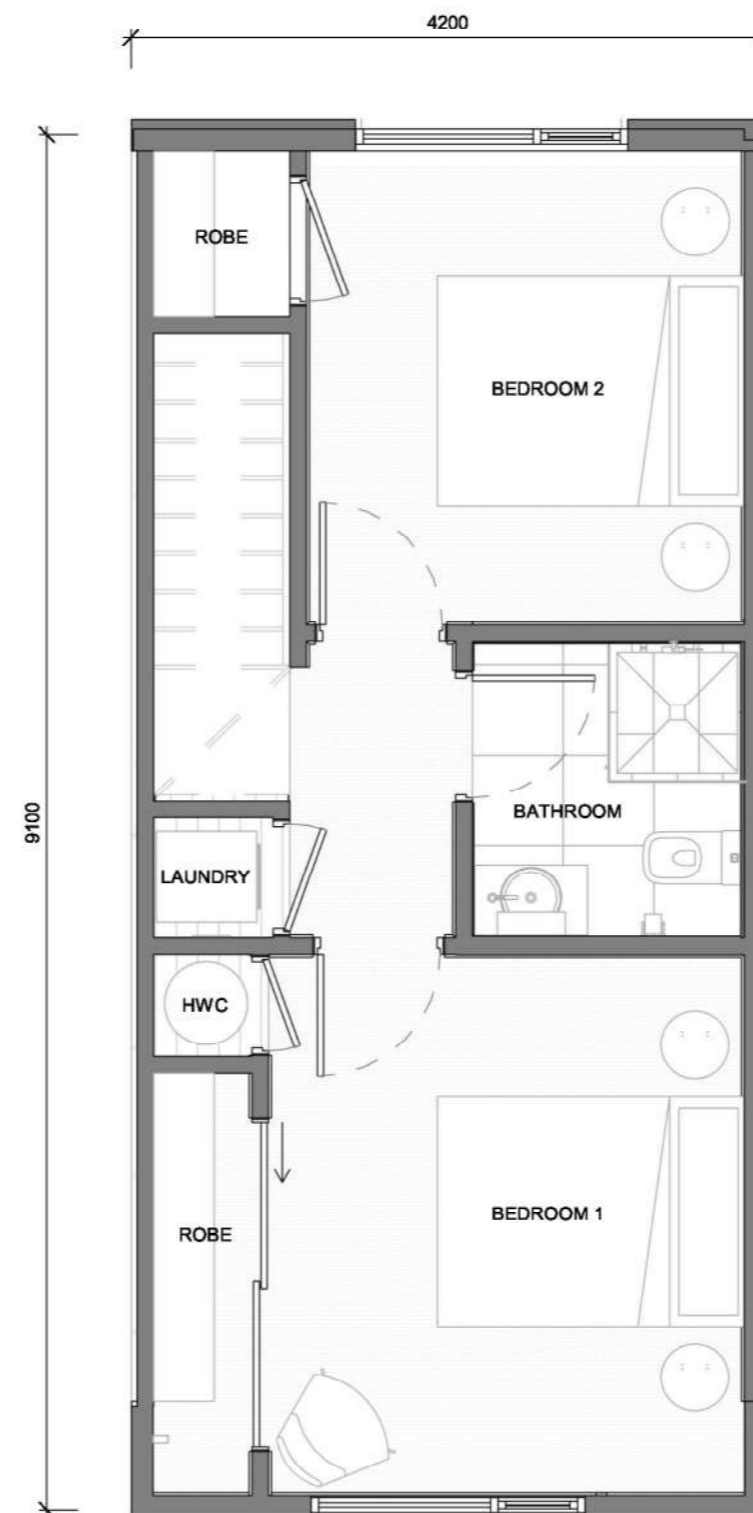


A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



**2 Bed - Ground Floor - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bed - First Floor - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



# RM220070 Approved Plans 9.12.2022

**RC25** REV.6

## 2 BEDROOM UNIT - TYPE C

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:50 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

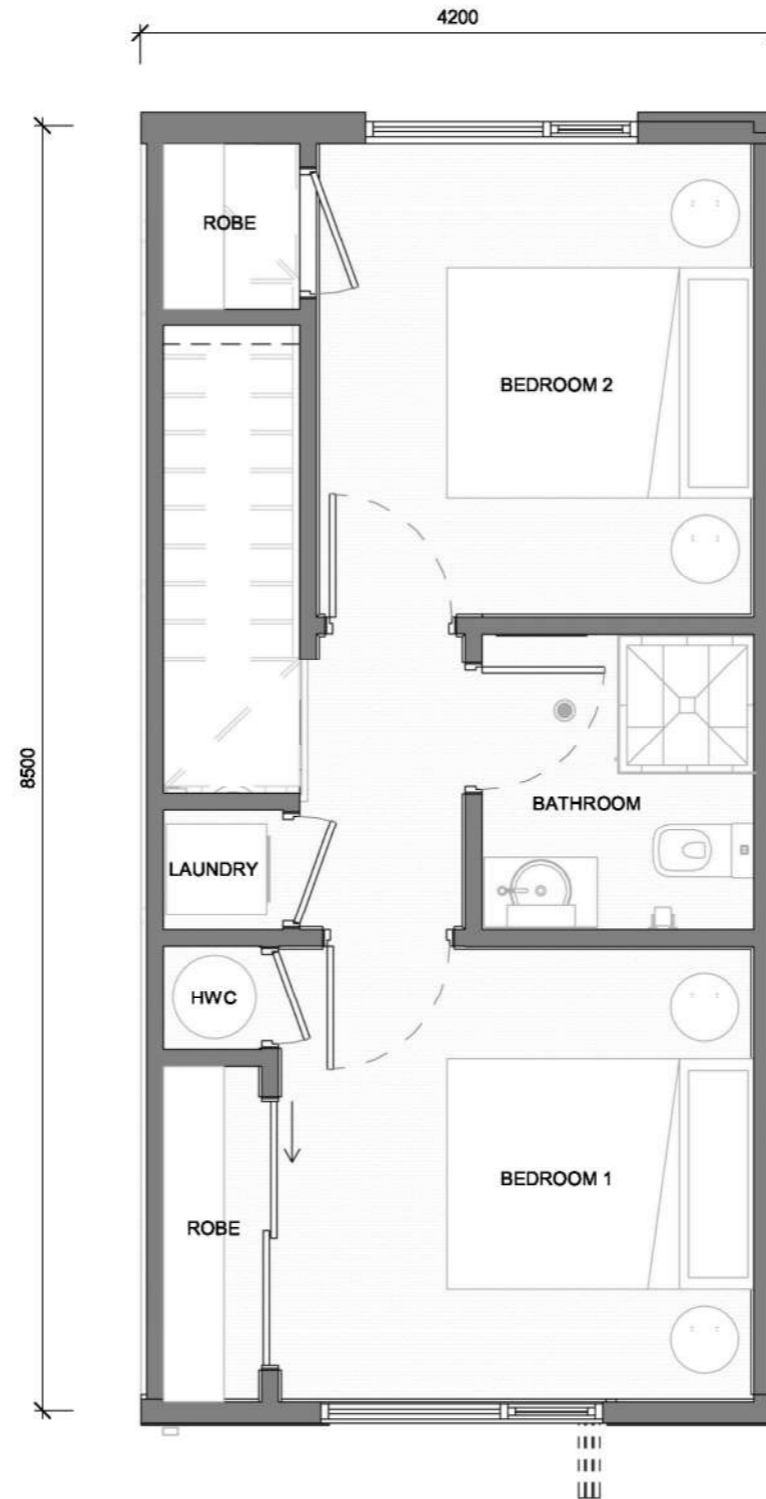


A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**2 Bed - Ground Floor - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bed - First Floor - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

# RM220070 Approved Plans 9.12.2022

**RC26** REV.6

**2 BEDROOM UNIT - TYPE D**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

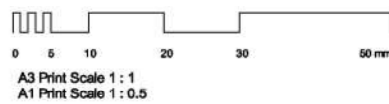
PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:52 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

**Site Information**

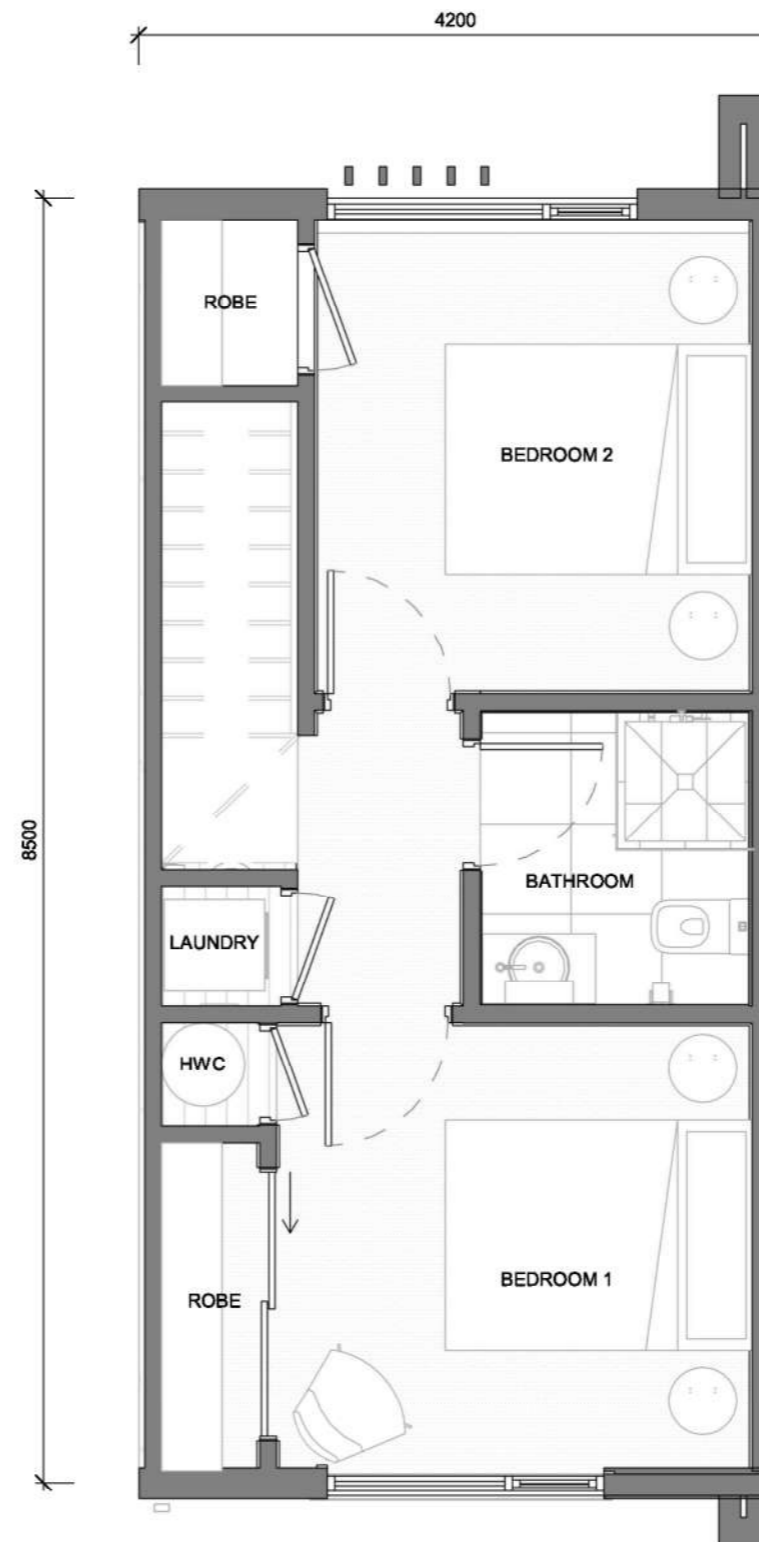
Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**2 Bed - Ground Floor - Type D**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bed - First Floor - Type D**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

## 3 BEDROOM UNIT - TYPE E

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:55 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

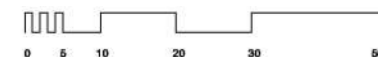
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

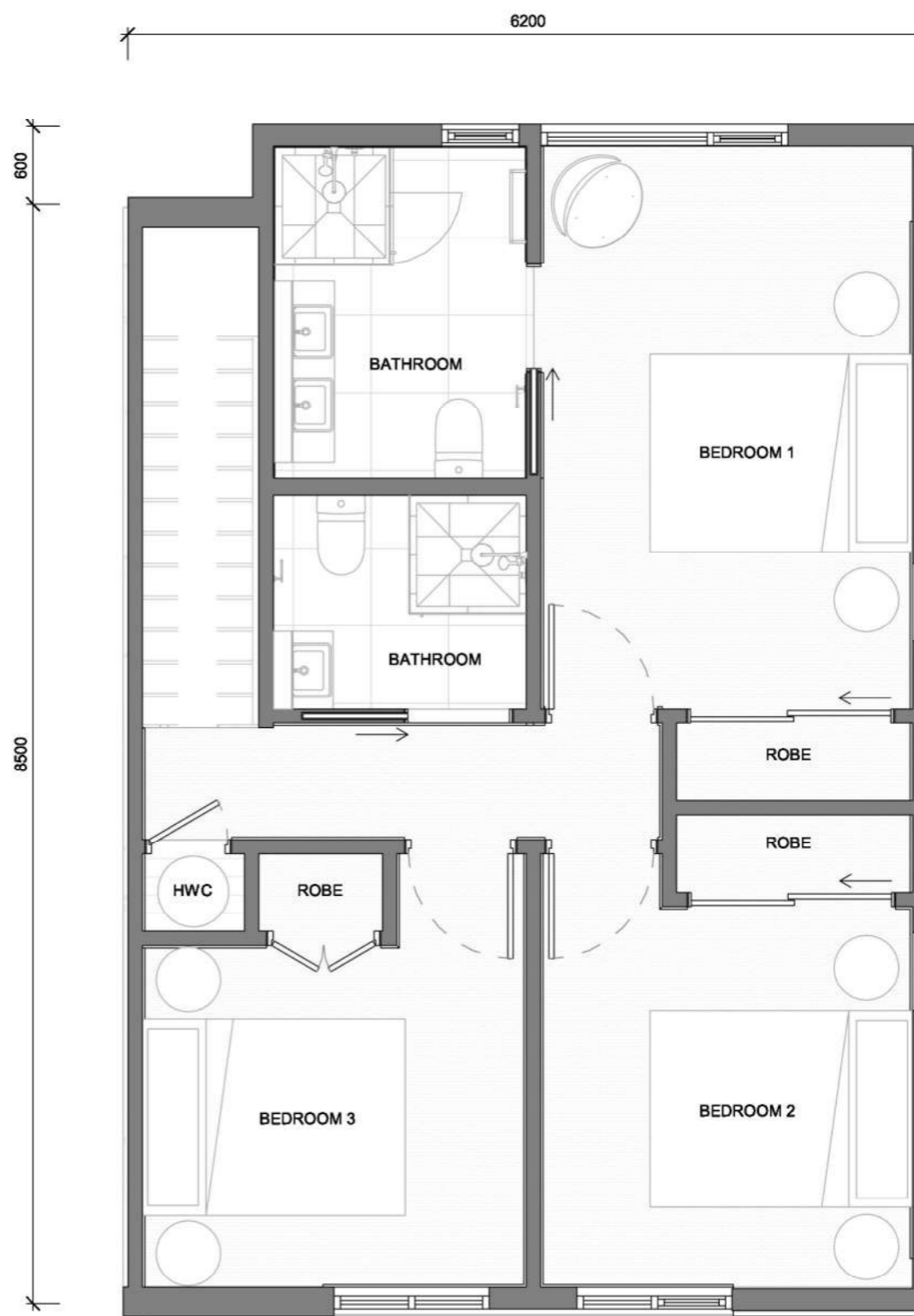
Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



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**3 Bed - Ground Floor - Type E**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bed - First Floor - Type E**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

# RM220070 Approved Plans 9.12.2022

## RC28 REV.6

### 3 BEDROOM UNIT - TYPE E (BATH OPTION)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

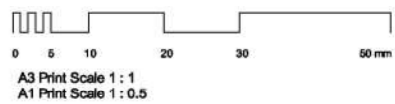
PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:58 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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**3 Bed - Ground Floor - Type E (Bath Option)**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bed - First Floor - Type E (Bath Option)**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

# RM220070 Approved Plans 9.12.2022

**RC29** REV.6

**3 BEDROOM UNIT - TYPE F**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

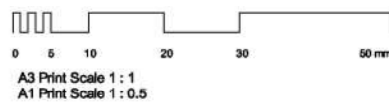
PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:55:58 PM**

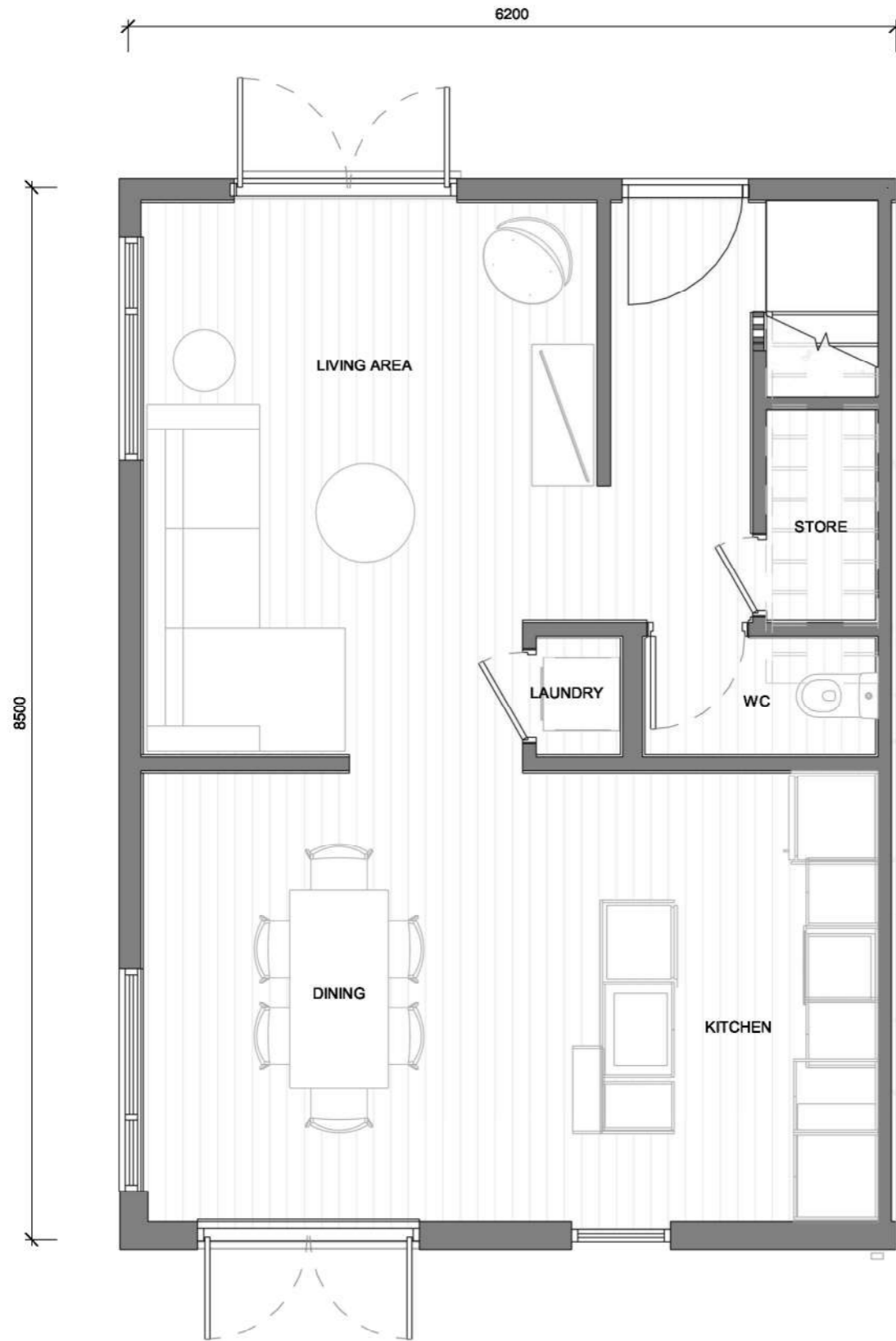
NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

**Site Information**

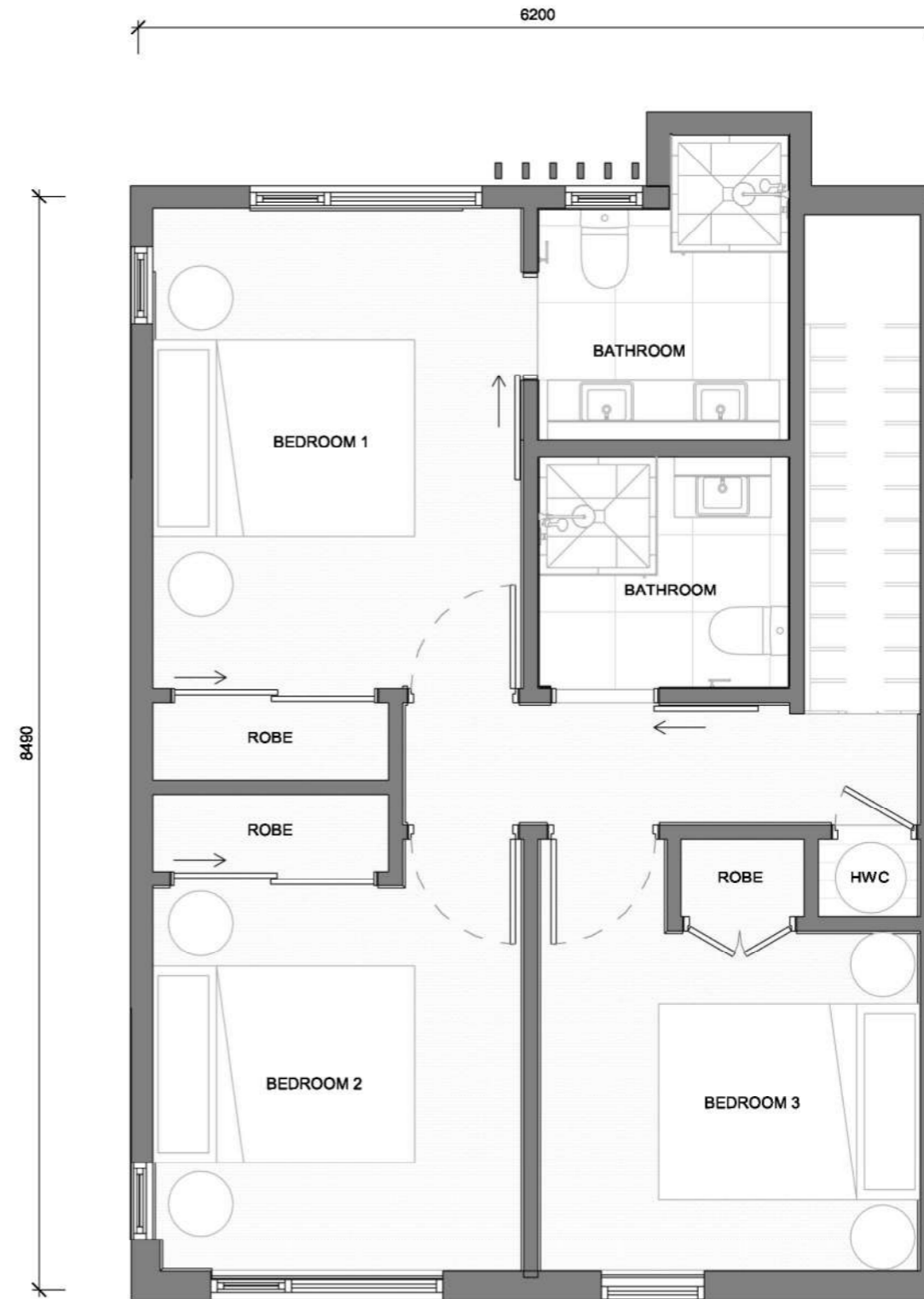
Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
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Tauranga	+64 7 925 8238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



**3 Bed - Ground Floor - Type F**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bed - First Floor - Type F**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

## 3 BEDROOM UNIT - TYPE G

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:02 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

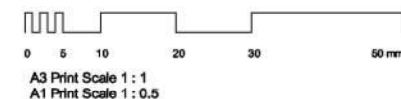
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



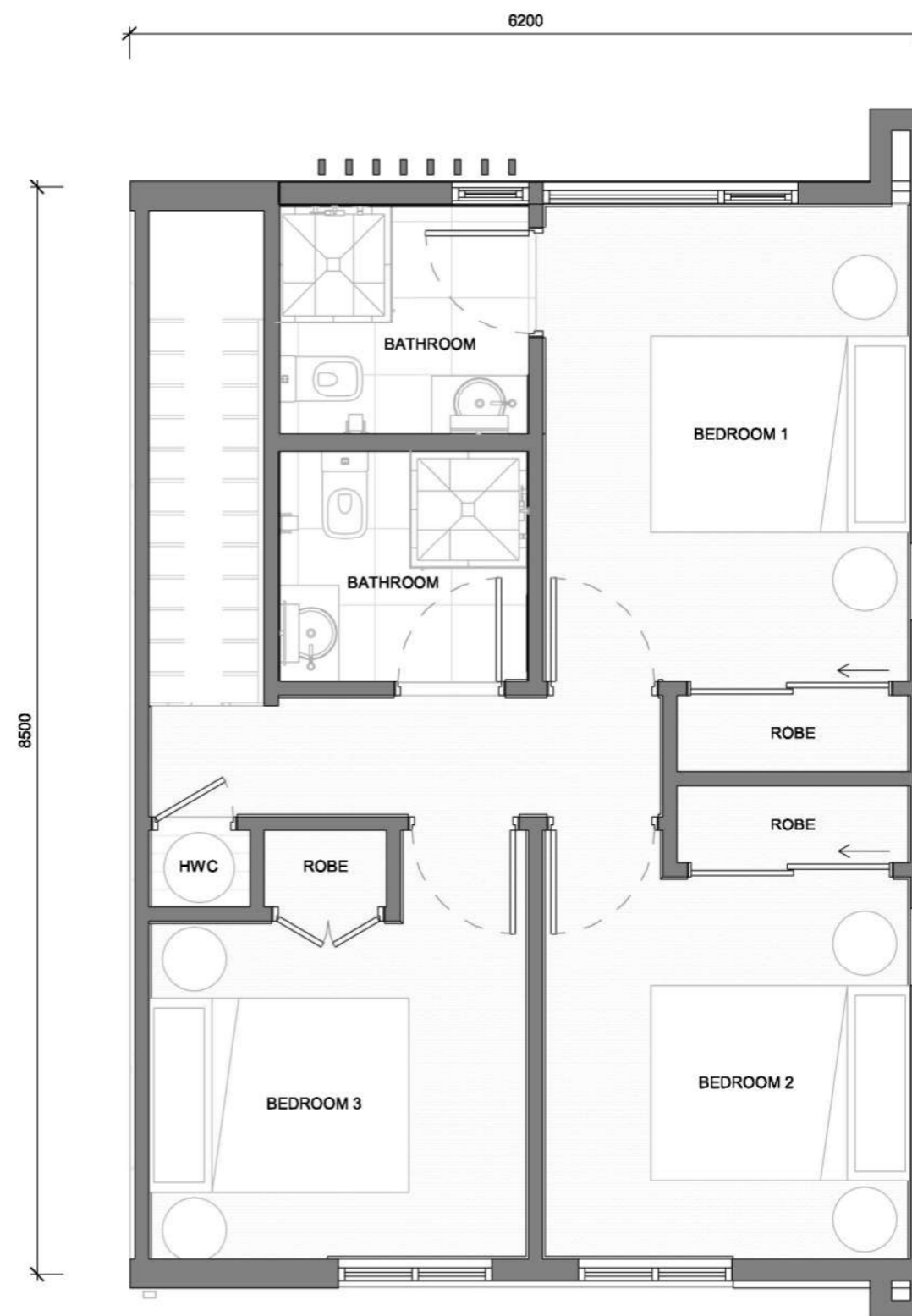
Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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**3 Bed - Ground Floor - Type G**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bed - First Floor - Type G**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

# RM220070 Approved Plans 9.12.2022

**RC31** REV.6

## 2 BEDROOM UNIT - TYPE A

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:11 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**2 Bedroom Unit - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



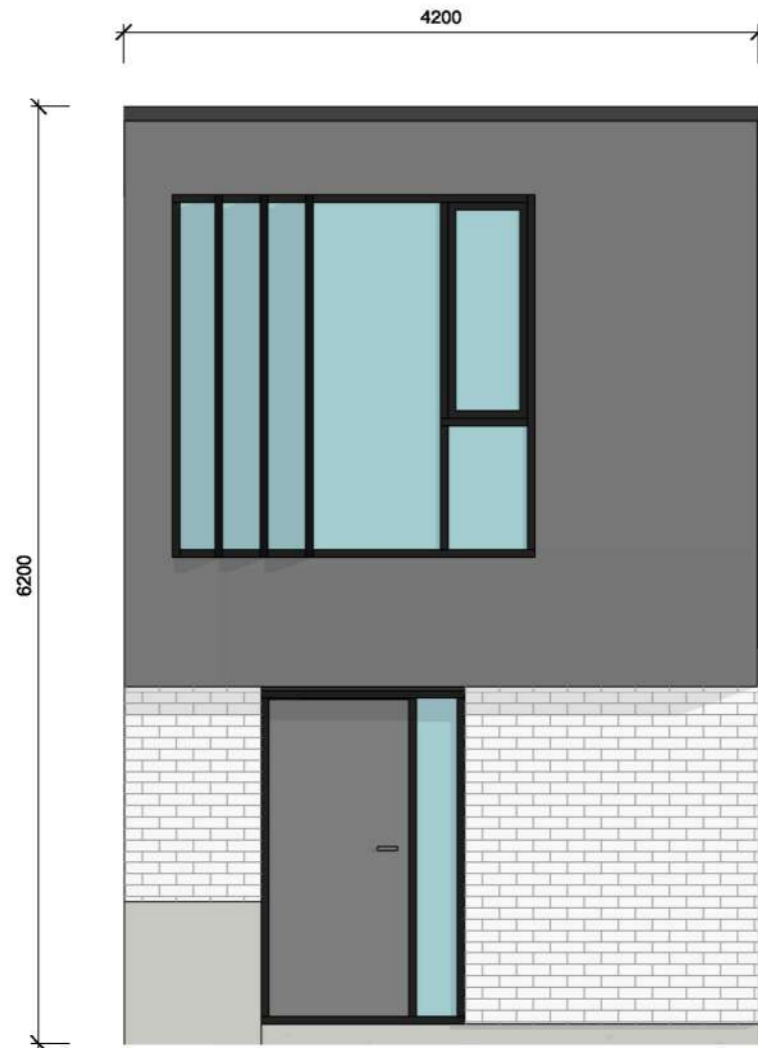
**2 Bedroom Unit - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

# RM220070 Approved Plans 9.12.2022

**RC32** REV.6

## 2 BEDROOM UNIT - TYPE A

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD



**2 Bedroom Unit - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:20 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

**RC33** REV. 6

## 2 BEDROOM UNIT - TYPE A

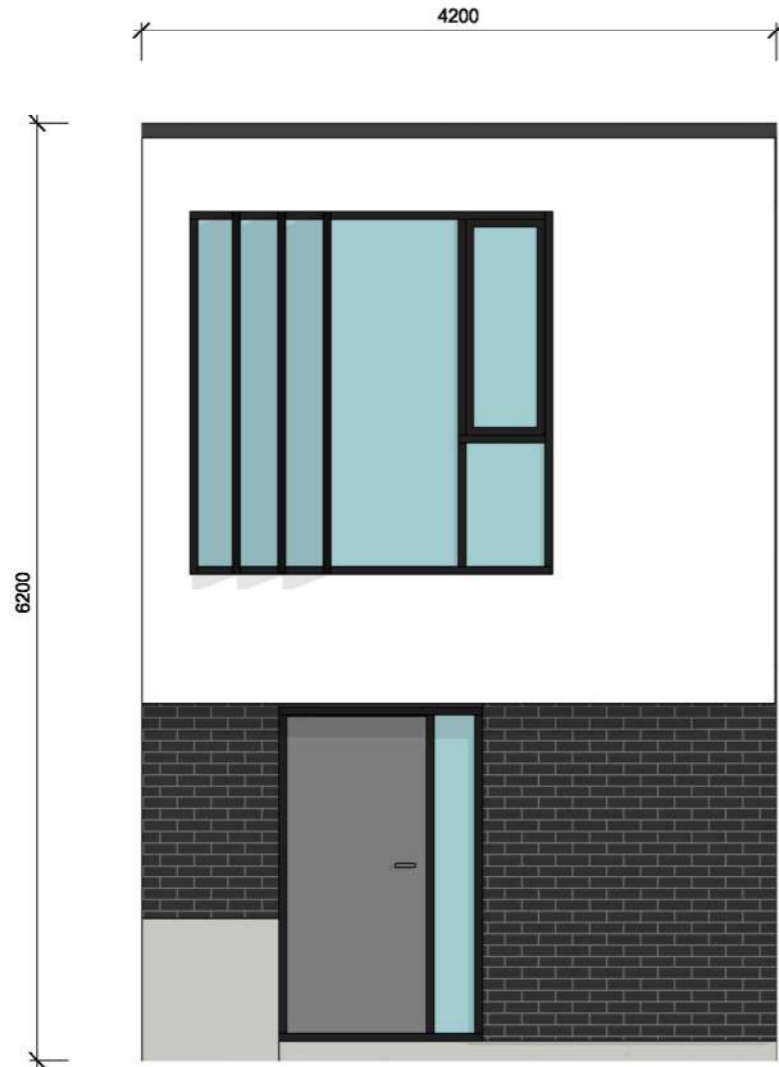
THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:28 PM**



**2 Bedroom Unit - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

# RM220070 Approved Plans 9.12.2022

RC34 REV. 6

## 2 BEDROOM UNIT - TYPE A

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:39 PM**



**2 Bedroom Unit - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type A**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz

# RM220070 Approved Plans 9.12.2022

**RC35** REV.6

## 2 BEDROOM UNIT - TYPE B

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:48 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

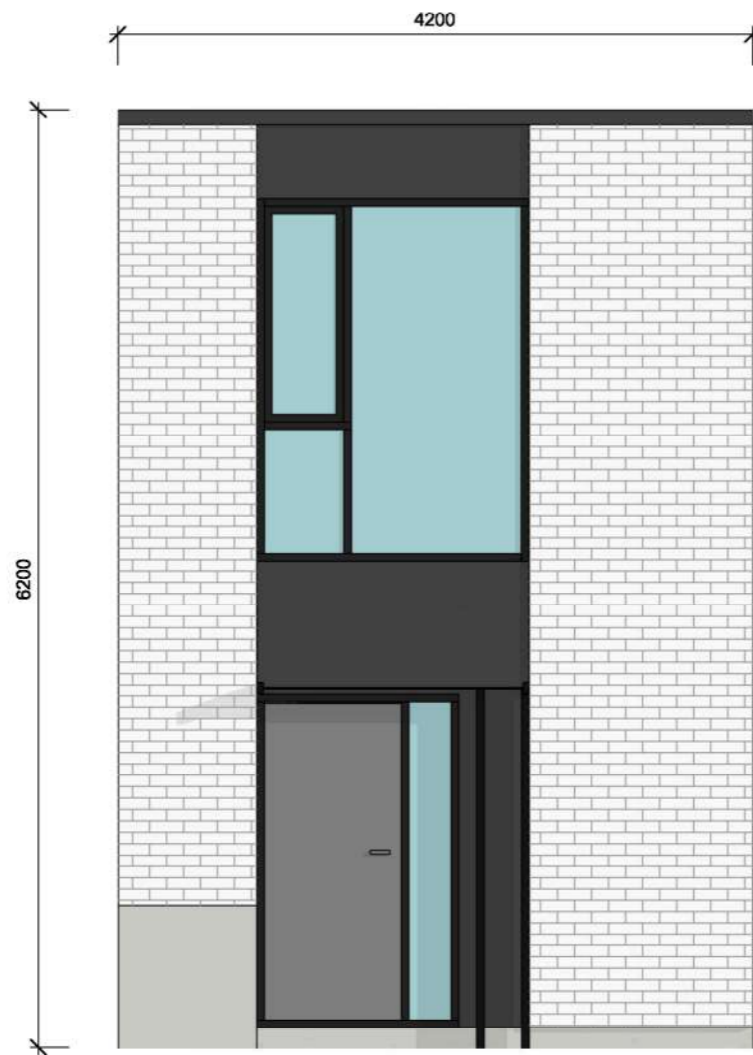
Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



**2 Bedroom Unit - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

## 2 BEDROOM UNIT - TYPE B

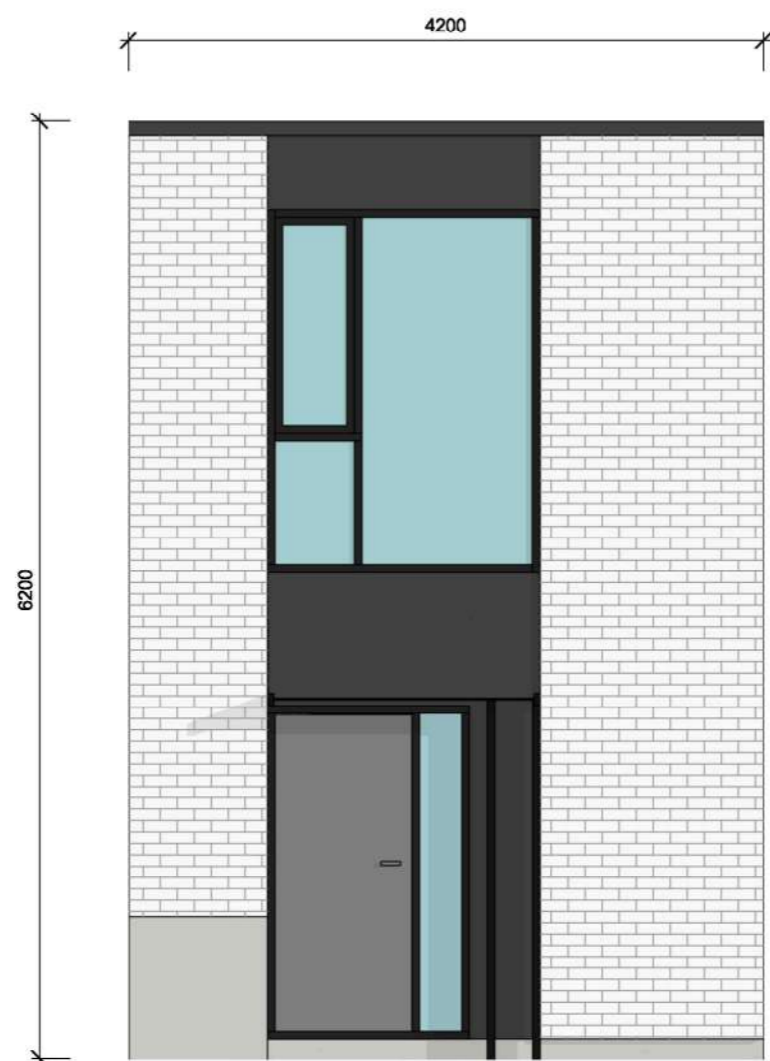
THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:58 PM**



**2 Bedroom Unit - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h

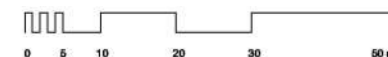
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

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# RM220070 Approved Plans 9.12.2022

**RC37** REV. **6**

## 2 BEDROOM UNIT - TYPE B

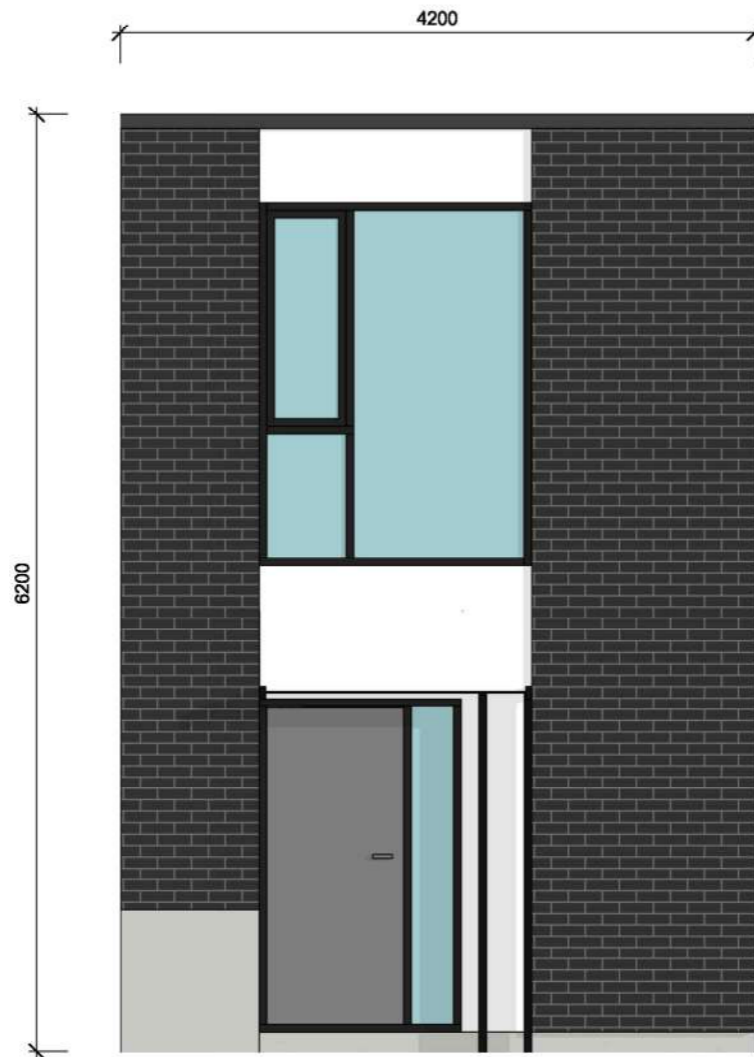
THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:57:07 PM**



**2 Bedroom Unit - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

**RC38** REV. **6**

## 2 BEDROOM UNIT - TYPE B

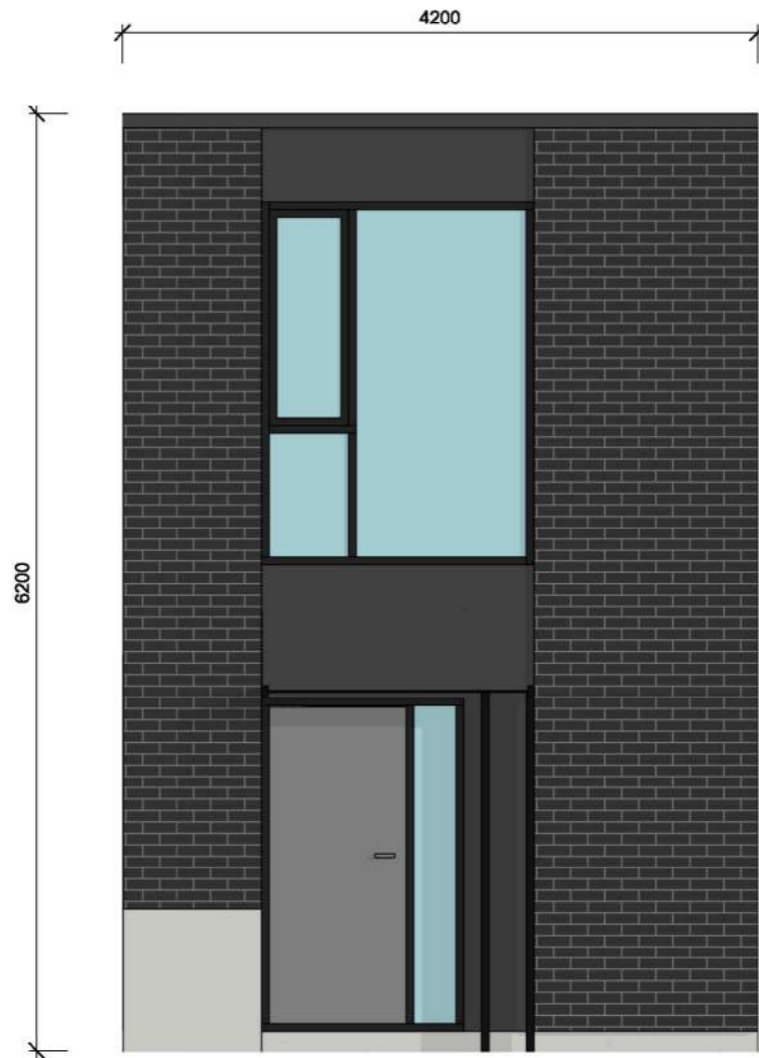
THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:57:17 PM**



**2 Bedroom Unit - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

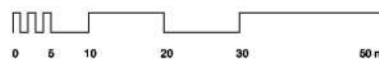


**2 Bedroom Unit - Type B**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz

## 2 BEDROOM UNIT - TYPE C

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:57:28 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

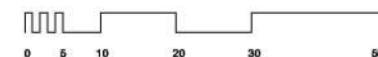
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**2 Bedroom Unit - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

## 2 BEDROOM UNIT - TYPE C

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:57:35 PM**



**2 Bedroom Unit - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h

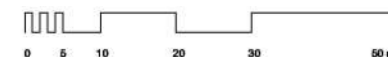
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz

RM220070 Approved Plans 9.12.2022



## 2 BEDROOM UNIT - TYPE C

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:57:45 PM**

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



**2 Bedroom Unit - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

# RM220070 Approved Plans 9.12.2022

**RC42** REV. **6**

## 2 BEDROOM UNIT - TYPE C

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD



**2 Bedroom Unit - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type C**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:57:55 PM**

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

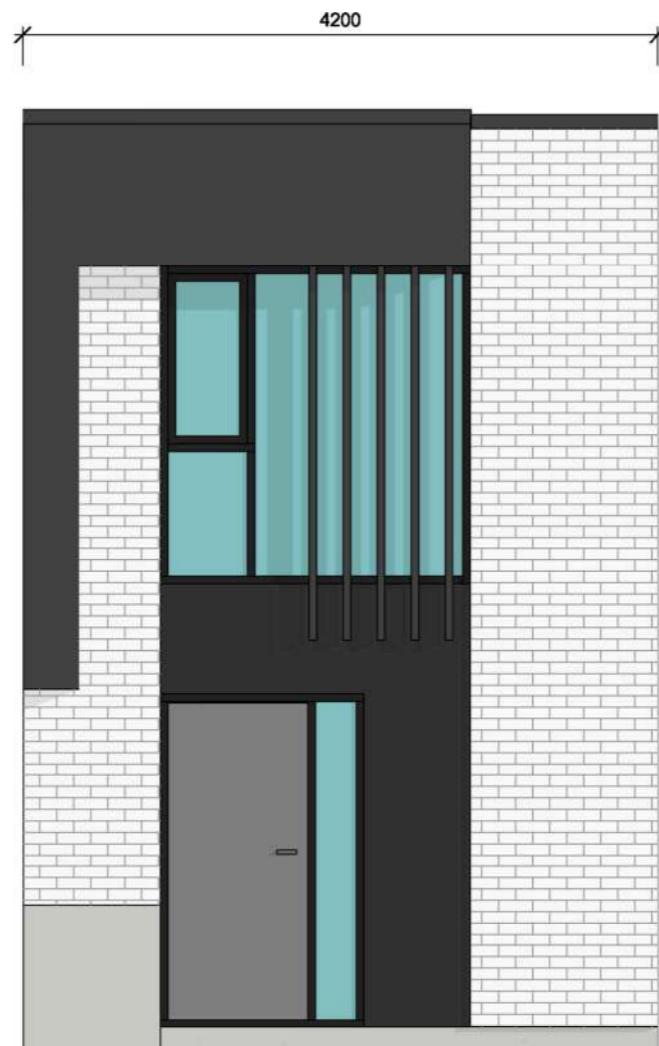
Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

**RC43** REV. 3

## 2 BEDROOM UNIT - TYPE D

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD



**2 Bedroom Unit - Type D**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type D**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

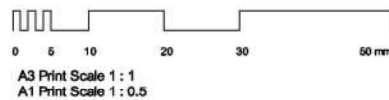
PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:05 PM**

NO.	DESCRIPTION	DATE
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

## 2 BEDROOM UNIT - TYPE D

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:15 PM**



**2 Bedroom Unit - Type D**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type D**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

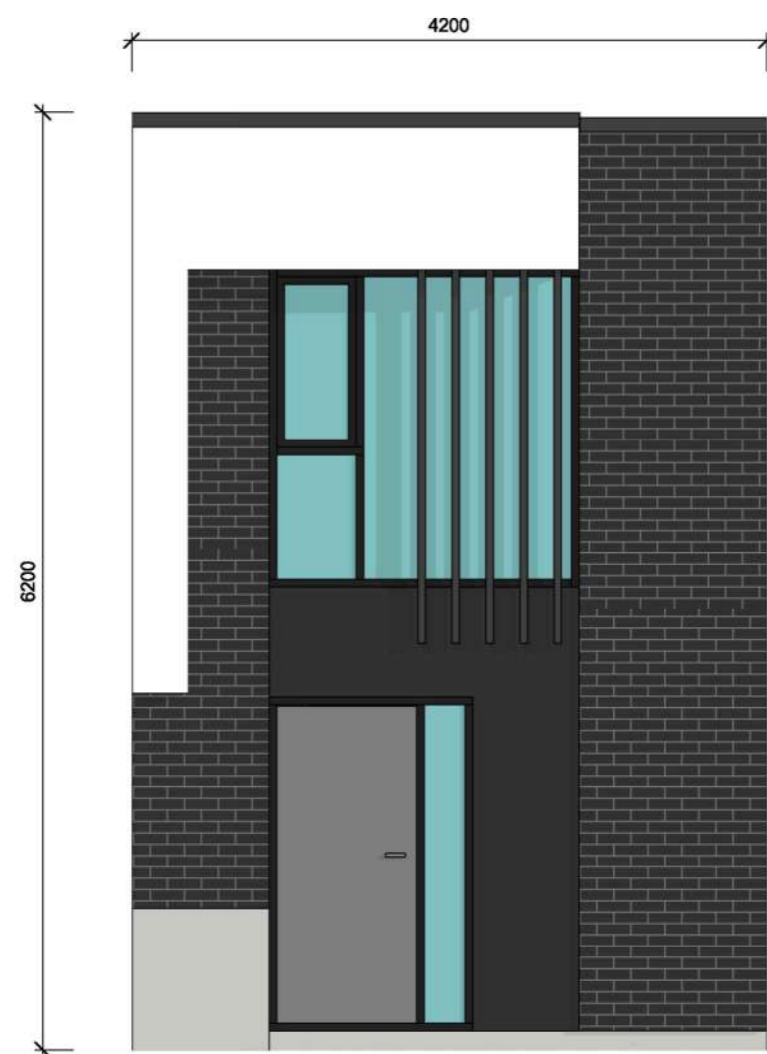
Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

RM220070 Approved Plans 9.12.2022

2 BEDROOM UNIT - TYPE D

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

RM220070 Approved Plans 9.12.2022



2 Bedroom Unit - Type D  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



2 Bedroom Unit - Type D  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. T875

PLOT DATE. 5/10/2022 3:58:25 PM

NO.	DESCRIPTION	DATE
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Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz

# RM220070 Approved Plans 9.12.2022

**RC46** REV. **6**

## 2 BEDROOM UNIT - TYPE D

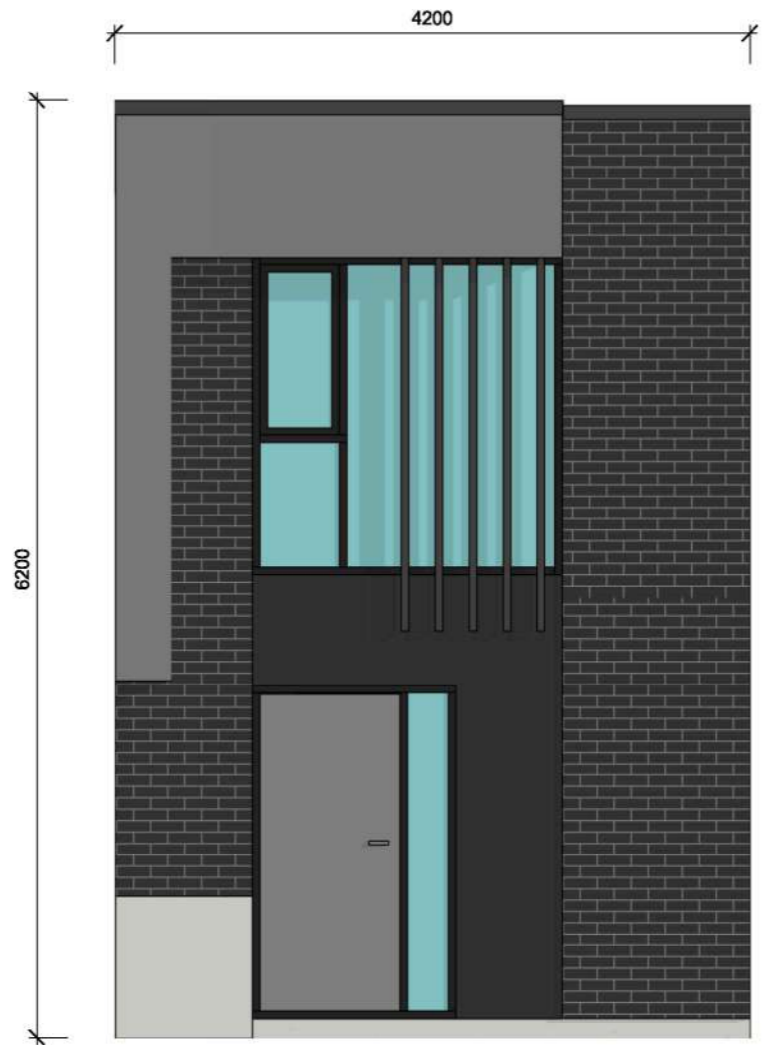
THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:35 PM**



**2 Bedroom Unit - Type D**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**2 Bedroom Unit - Type D**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz

# RM220070 Approved Plans 9.12.2022

**RC47** REV.6

## 3 BEDROOM UNIT - TYPE E

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

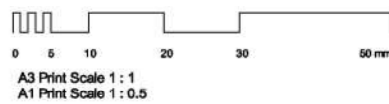
PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:45 PM**

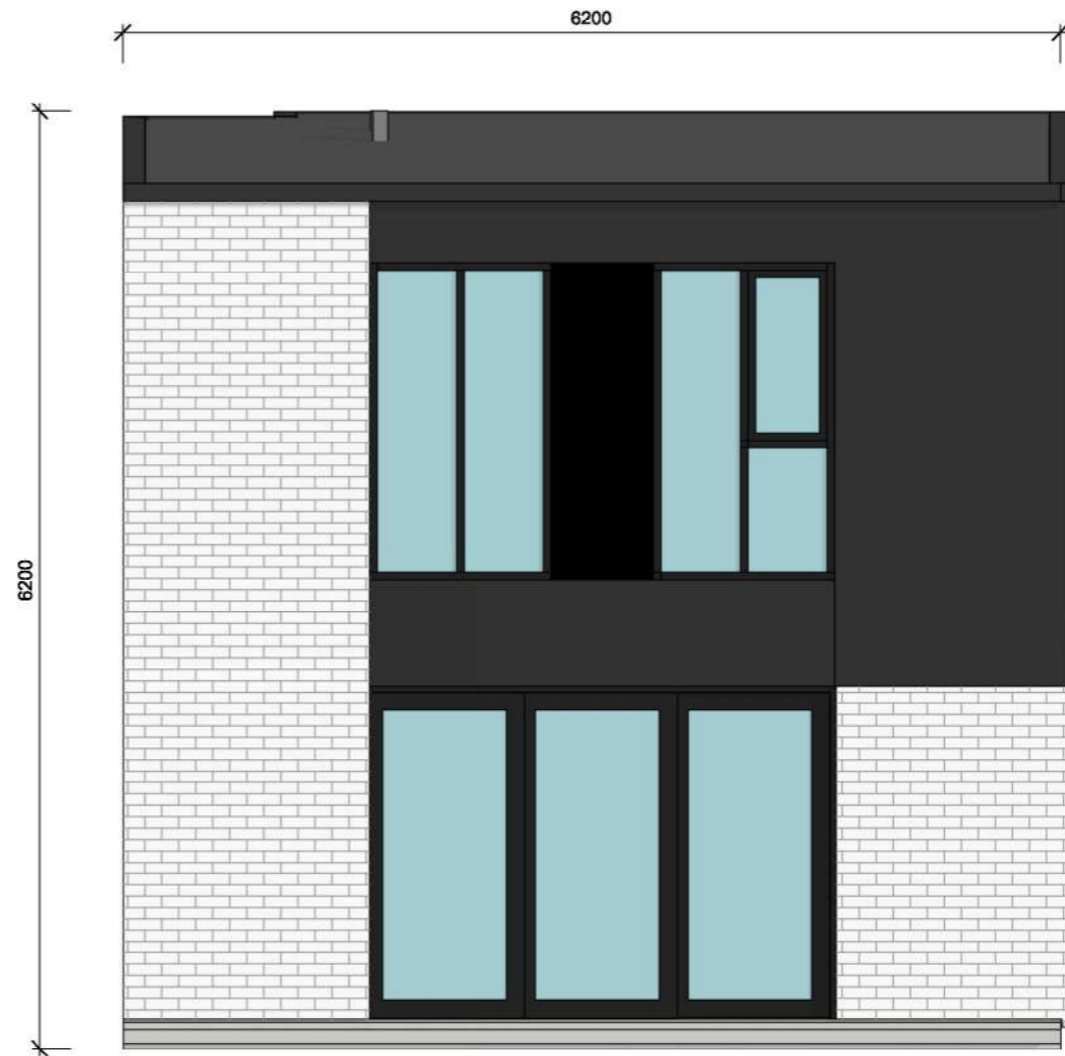
NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



**3 Bedroom Unit - Type E**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bedroom Unit - Type E**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

## 3 BEDROOM UNIT - TYPE E

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:55 PM**

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h

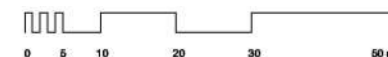
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**3 Bedroom Unit - Type E**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bedroom Unit - Type E**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022



# RM220070 Approved Plans 9.12.2022

**RC49** REV. **6**

## 3 BEDROOM UNIT - TYPE E

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 3:58:05 PM**



**3 Bedroom Unit - Type E**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bedroom Unit - Type E**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

# RM220070 Approved Plans 9.12.2022

**RC50** REV.6

## 3 BEDROOM UNIT - TYPE F

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

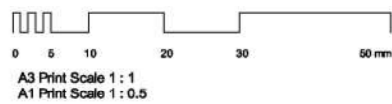
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 3:58:14 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**3 Bedroom Unit - Type F**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bedroom Unit - Type F**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

# RM220070 Approved Plans 9.12.2022

RC51 REV. 6

## 3 BEDROOM UNIT - TYPE F

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:01:21 PM**



NO.	DESCRIPTION	DATE
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### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

**3 Bedroom Unit - Type F**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

**3 Bedroom Unit - Type F**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

3 BEDROOM UNIT - TYPE F

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

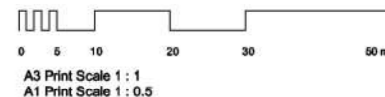
PROJECT No. T875

PLOT DATE. 5/10/2022 4:01:32 PM

NO.	DESCRIPTION	DATE
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Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



3 Bedroom Unit - Type F  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



3 Bedroom Unit - Type F  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

# RM220070 Approved Plans 9.12.2022

**RC53** REV.6

**3 BEDROOM UNIT - TYPE G**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

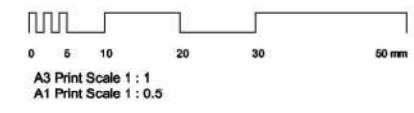
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 4:01:58 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

**Site Information**

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**3 Bedroom Unit - Type G**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**3 Bedroom Unit - Type G**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

## LANDSCAPE MASTERPLAN

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:03:33 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Brushed Concrete (Pathways)
- Artificial Turf (Back yards)
- Specimen Tree
- Entry Door Planting
- Carparking Planting
- Public / Walkway Planting

**\*Note.** Refer to RC37 for Planting Palette

RM220070 Approved Plans 9.12.2022

## LANDSCAPE PLANS (UNITS 1-17)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

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PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:03:48 PM**

RM220070 Approved Plans 9.12.2022

NO.	DESCRIPTION	DATE
1	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
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**Landscape Plan - Units 1-17**  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor LMng

\*Note. Refer to RC70 for Planting Palette

**LANDSCAPE PLANS (UNITS 18-29)**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

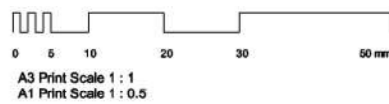
PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:03:58 PM**

6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022
NO.	DESCRIPTION	DATE

**Site Information**

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor LMgr

\*Note. Refer to RC70 for Planting Palette

**Landscape Plan - Units 17-30**  
SCALE @ A3 - 1:250 | SCALE @ A1 - DOUBLE SCALE



# RM220070 Approved Plans 9.12.2022

## RC57 REV.6

### LANDSCAPE PLANS (UNITS 30-39)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:04:03 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

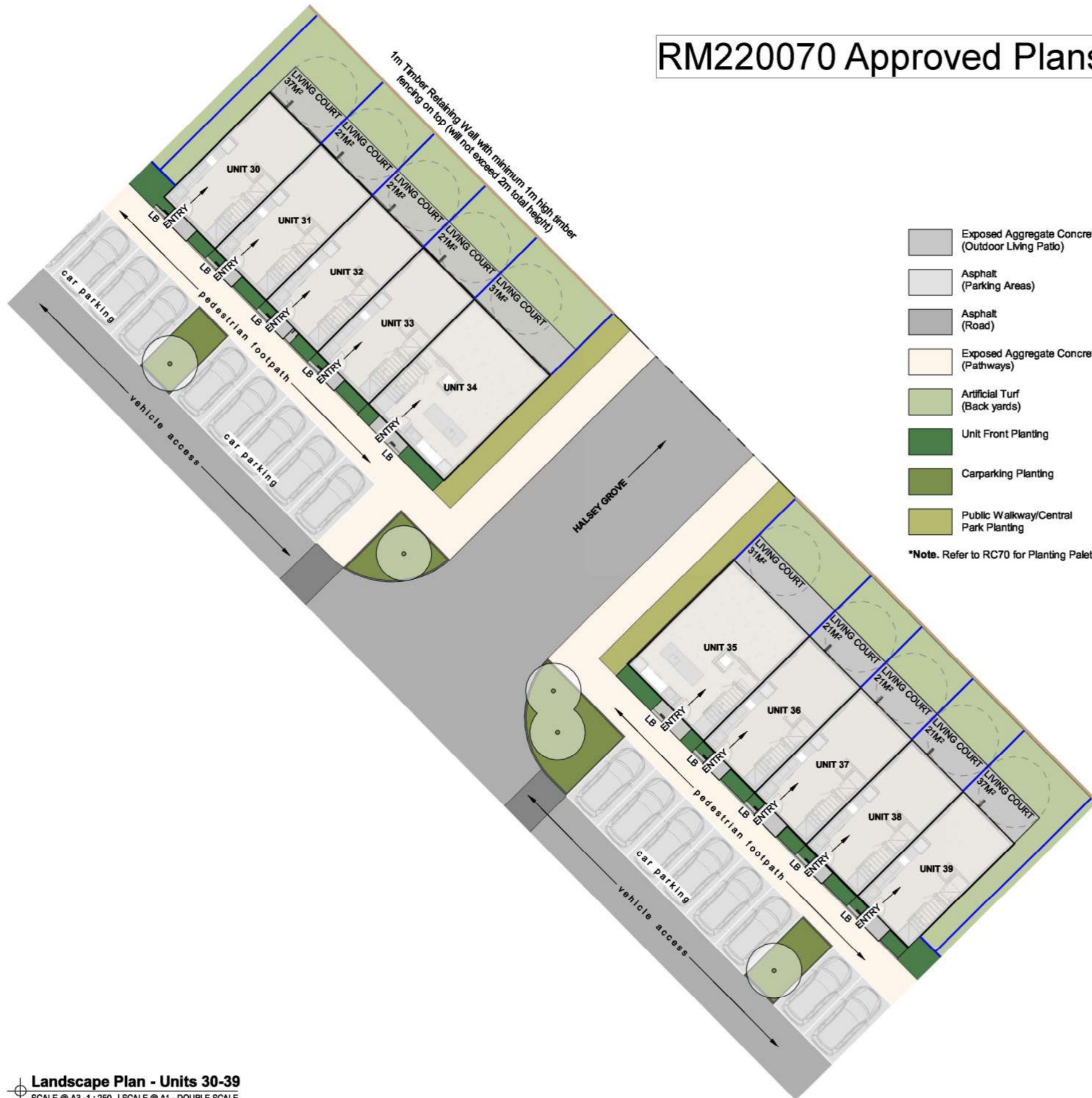
### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor Living

\*Note. Refer to RC70 for Planting Palette

# RM220070 Approved Plans 9.12.2022

**RC58** REV.6

## LANDSCAPE PLANS (UNIT 40-49)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:04:13 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor Living

\*Note. Refer to RC70 for Planting Palette

## LANDSCAPE PLANS (UNIT 50-61)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:04:25 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



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- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor LMng

\*Note. Refer to RC70 for Planting Palette

**Landscape Plan - Units 50-61**  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

# RC60 REV.6

## LANDSCAPE PLANS (UNIT 62-73)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:04:33 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



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- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor LMng

\*Note. Refer to RC70 for Planting Palette

**Landscape Plan - Units 62-73**  
SCALE @ A3-1 : 250 | SCALE @ A1 - DOUBLE SCALE

# RM220070 Approved Plans 9.12.2022

**RC61** REV.6

## LANDSCAPE PLANS (UNITS 74-82)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

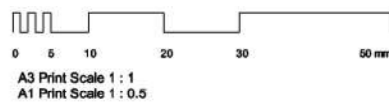
PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:04:41 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor Living

\*Note. Refer to RC70 for Planting Palette

# RM220070 Approved Plans 9.12.2022

**RC62** REV.6

**LANDSCAPE PLANS (UNITS 83-92)**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

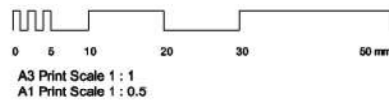
PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:04:51 PM**

6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022
NO.	DESCRIPTION	DATE

**Site Information**

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



- Exposed Aggregate Concrete (Outdoor Living Patio)
  - Asphalt (Parking Areas)
  - Asphalt (Road)
  - Exposed Aggregate Concrete (Pathways)
  - Artificial Turf (Back yards)
  - Unit Front Planting
  - Carparking Planting
  - Public Walkway/Central Park Planting
  - LB Letterbox
  - G Gate
  - 1800mm Timber Fence
  - 1200mm Timber Fence
  - 1100mm Concrete Fence on 500mm Retaining Wall
  - 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
  - Concrete Retaining on Boundary
  - Timber Retaining on Boundary
  - Specimen Tree
  - Ø4m Outdoor Living
- \*Note.** Refer to RC70 for Planting Palette

**Landscape Plan - Units 83-92**  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

## LANDSCAPE PLANS (UNITS 93-98)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

RM220070 Approved Plans 9.12.2022



- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
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- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor LMng

\*Note. Refer to RC70 for Planting Palette

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:04:55 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

## LANDSCAPE PLANS (UNITS 99-105)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RM220070 Approved Plans 9.12.2022

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:05:35 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



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- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
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- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor LMng

\*Note. Refer to RC70 for Planting Palette



RM220070 Approved Plans 9.12.2022

LANDSCAPE PLANS (UNITS 106-112)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. T875

PLOT DATE. 5/10/2022 4:05:40 PM

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

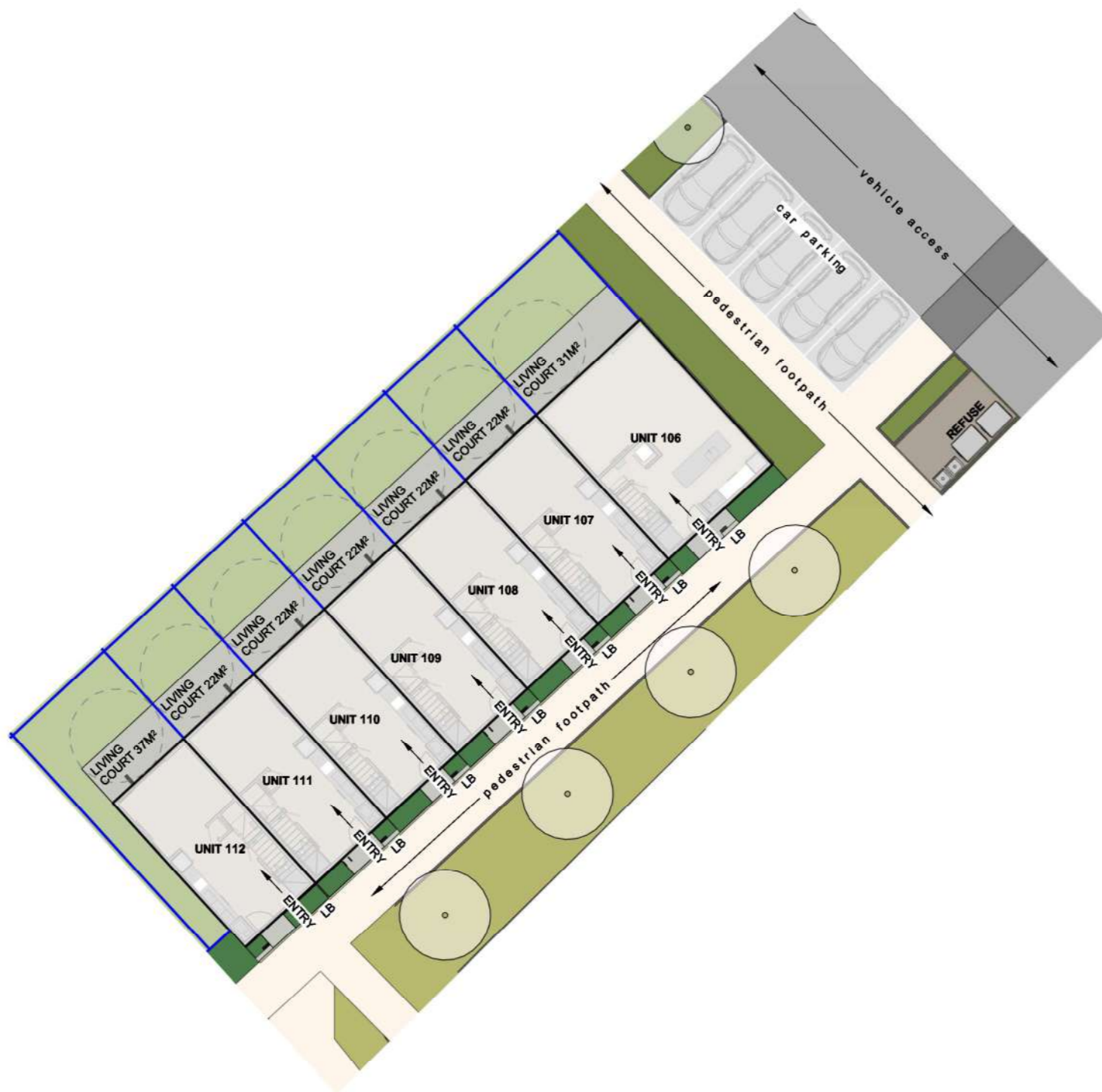
Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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- Exposed Aggregate Concrete (Outdoor Living Patio)
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- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
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- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor LMng

\*Note. Refer to RC70 for Planting Palette

## LANDSCAPE PLANS (UNITS 113-118)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:05:44 PM**



**Landscape Plan - Units 113-118**  
SCALE @ A3 - 1 : 250 | SCALE @ A1 - DOUBLE SCALE

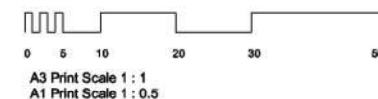
- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor LIVING

\*Note. Refer to RC70 for Planting Palette

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

# RC67

REV.6

## LANDSCAPE PLANS (UNITS 119-127)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:05:52 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
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- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor Living

\*Note. Refer to RC70 for Planting Palette

## RM220070 Approved Plans 9.12.2022

### LANDSCAPE PLANS (UNITS 128-135)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD



- Exposed Aggregate Concrete (Outdoor Living Patio)
- Asphalt (Parking Areas)
- Asphalt (Road)
- Exposed Aggregate Concrete (Pathways)
- Artificial Turf (Back yards)
- Unit Front Planting
- Carparking Planting
- Public Walkway/Central Park Planting
- LB Letterbox
- G Gate
- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary
- Specimen Tree
- Ø4m Outdoor Living

\*Note. Refer to RC70 for Planting Palette

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

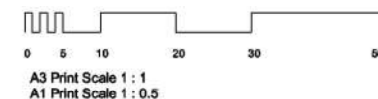
PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:05:57 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



**Landscape Plan - Units 128-135**  
SCALE @ A3-1 : 250 | SCALE @ A1 - DOUBLE SCALE

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

**RC69** REV.6

## LANDSCAPE PLANS (CENTRAL PARK)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:08:08 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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# PLANTING PALETTE

## UNIT FRONT PLANTING



*Pratia angulata*  
Panakenake

*Chionochloa flavicans*  
'Mini Toetoe'

*Arthropodium cirratum*  
Renga Renga Lily

*Libertia ixioides*  
NZ Iris

*Pittosporum*  
Golfball

## PUBLIC WALKWAY/CENTRAL SPACE PLANTING



*Pratia angulata*  
Panakenake

*Hebe decumbens*

*Carex comans*  
'Green'

*Chionochloa flavicans*  
'Mini Toetoe'

*Coprosma acerosa*  
'Sand Coprosma'

*Muehlenbeckia astonii*  
Shrubby Tororaro

*Libertia ixioides*  
NZ Iris

*Phormium cookianum*  
'Emerald Gem'

*Pittosporum*  
Golfball

*Carex testacea*

*Corokia virgata*  
Geentys Green

## CARPARK PLANTERS



*Phormium cookianum*  
'Emerald Gem'

*Libertia ixioides*  
NZ Iris

*Pittosporum*  
Golfball

*Carex comans*  
'Green'

*Corokia virgata*  
Geentys Green

## SPECIMEN TREES



*Alectryon excelsus*  
Titoki

*Knightia excelsa*  
Rewarewa

*Pseudopanax lessonii*  
Coastal Five Finger

*Sophora microphylla*  
Kowhai

# RC70

REV.6

## PLANTING PALETTE

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:08:08 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

## Site Information

Rainfall Intensity: 70 mm/h

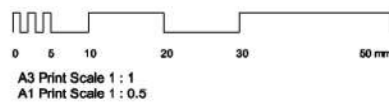
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



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Auckland	+64 9 978 8288	ak@dgse.co.nz



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RM220070 Approved Plans 9.12.2022

## MATERIAL PALETTE

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

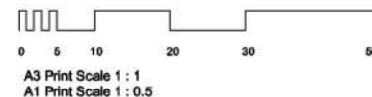
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 4:08:08 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

## Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



### Timber Fencing Typologies



1800mm Timber Batten Fence



1200mm Timber Batten Fence



1100mm Concrete + 700mm Timber Batten Fence on 500mm Retaining

### Concrete Fencing Typologies



1100mm White Concrete Fence

- 1800mm Timber Fence
- 1200mm Timber Fence
- 1100mm Concrete Fence on 500mm Retaining Wall
- 1100mm Concrete Fence on 500mm Retaining Wall, with 700mm Timber Fence on top
- Concrete Retaining on Boundary
- Timber Retaining on Boundary

### Retaining Wall Typologies



Concrete Boundary Retaining Wall



Timber Boundary Retaining Wall

### Bike Rack



Streetscape 'Victory' Bike rack (or similar)

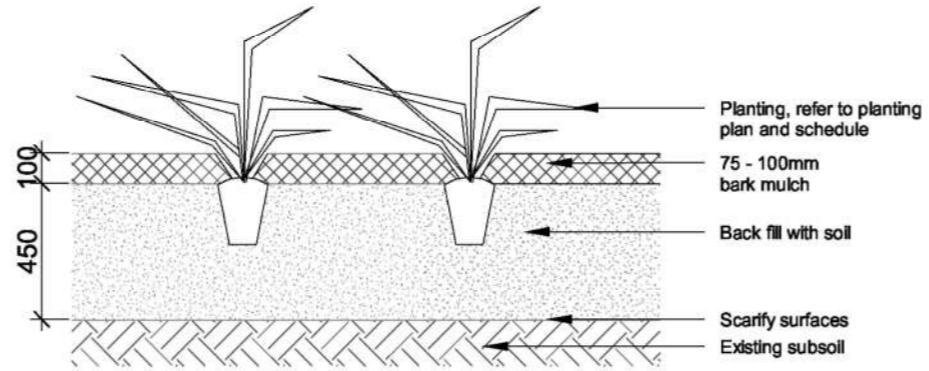
RM220070 Approved Plans 9.12.2022

# RM220070 Approved Plans 9.12.2022

**RC72** REV.6

**TYPICAL PLANTING DETAILS**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD



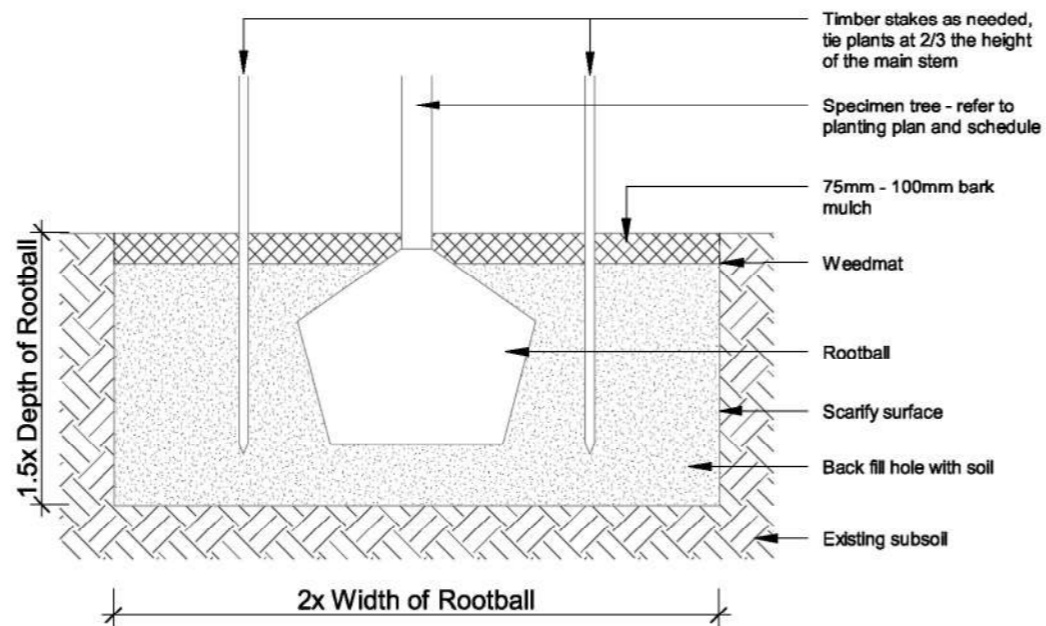
**Typical Planting Detail**  
SCALE @ A3 - 1 : 25 | SCALE @ A1 - DOUBLE SCALE

**RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:08:09 PM**



**Typical Tree Detail**  
SCALE @ A3 - 1 : 25 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

**Site Information**

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

**RC73** REV.6

## TYPICAL REFUSE

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:08:17 PM**

### Rubbish Notes

- 12 x 1100L (1240L x 1070W x 1330H)
- 12 x 240L (500L x 500L x 1100H)

**6x Typical Refuse stations on site\***

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

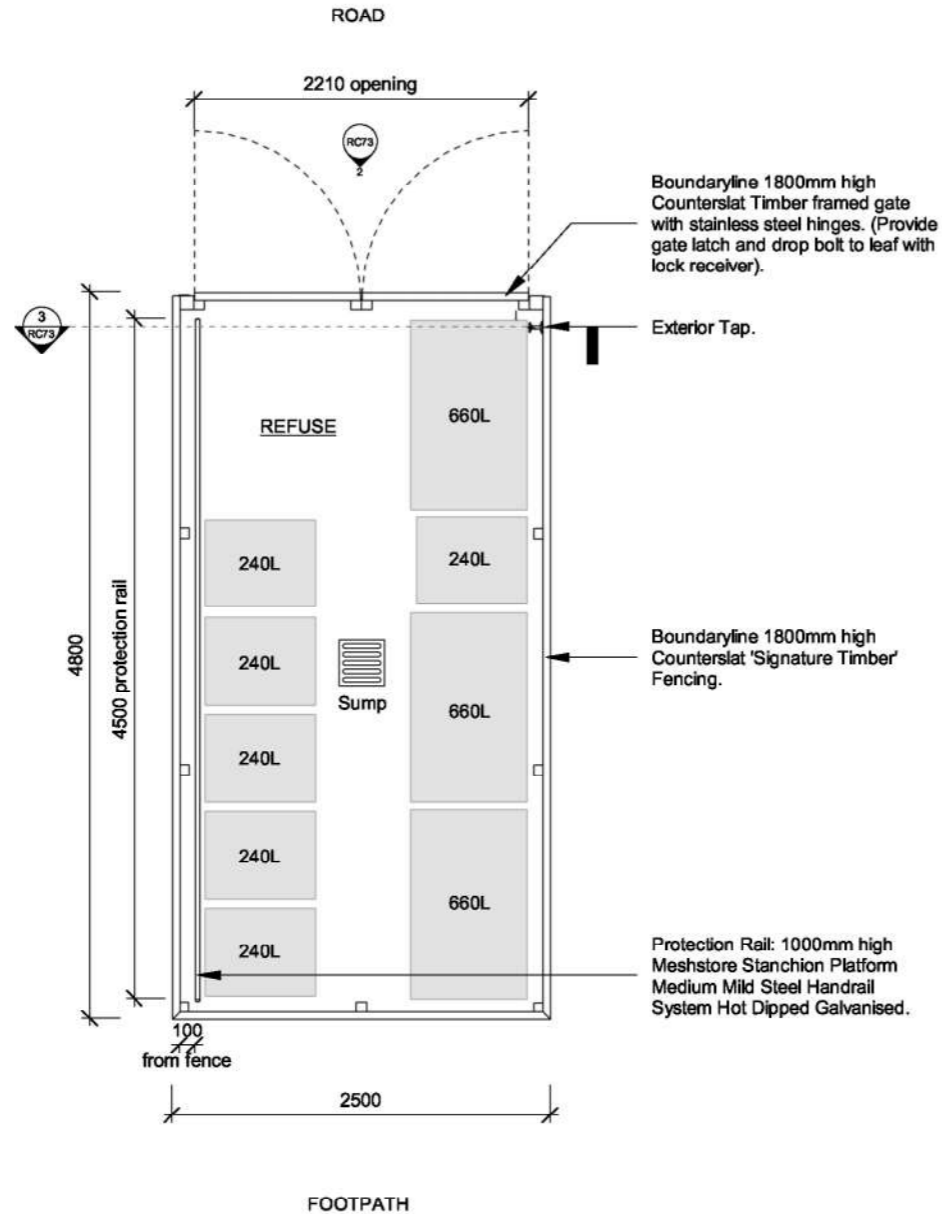
Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

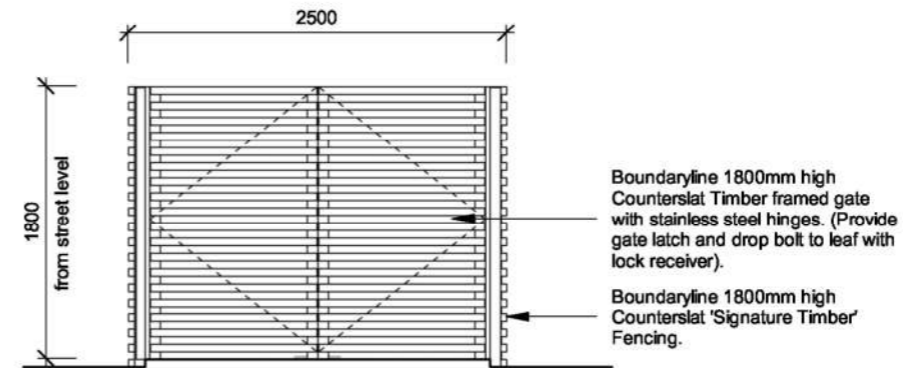


A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

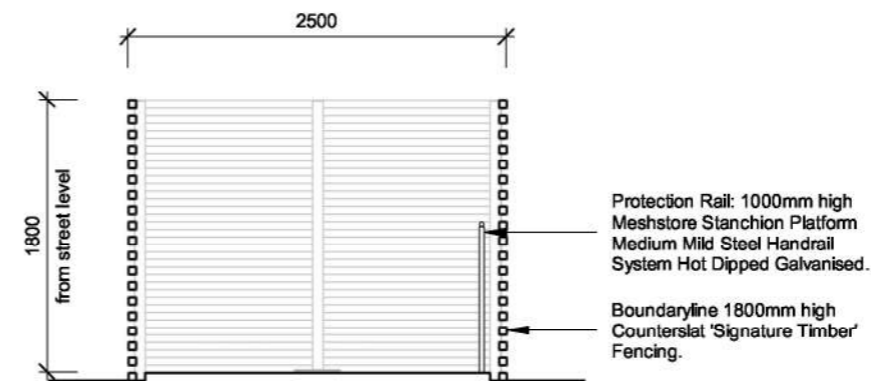
Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**Refuse Plan**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**Refuse Elevation**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE



**Refuse Section**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

## TRANSFORMER

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:08:18 PM**

### Transformer Notes

- Manufacture: **ABB**
- Model: **TX (side by side)**

**TBC\***

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

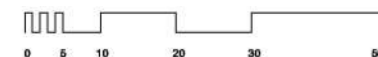
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

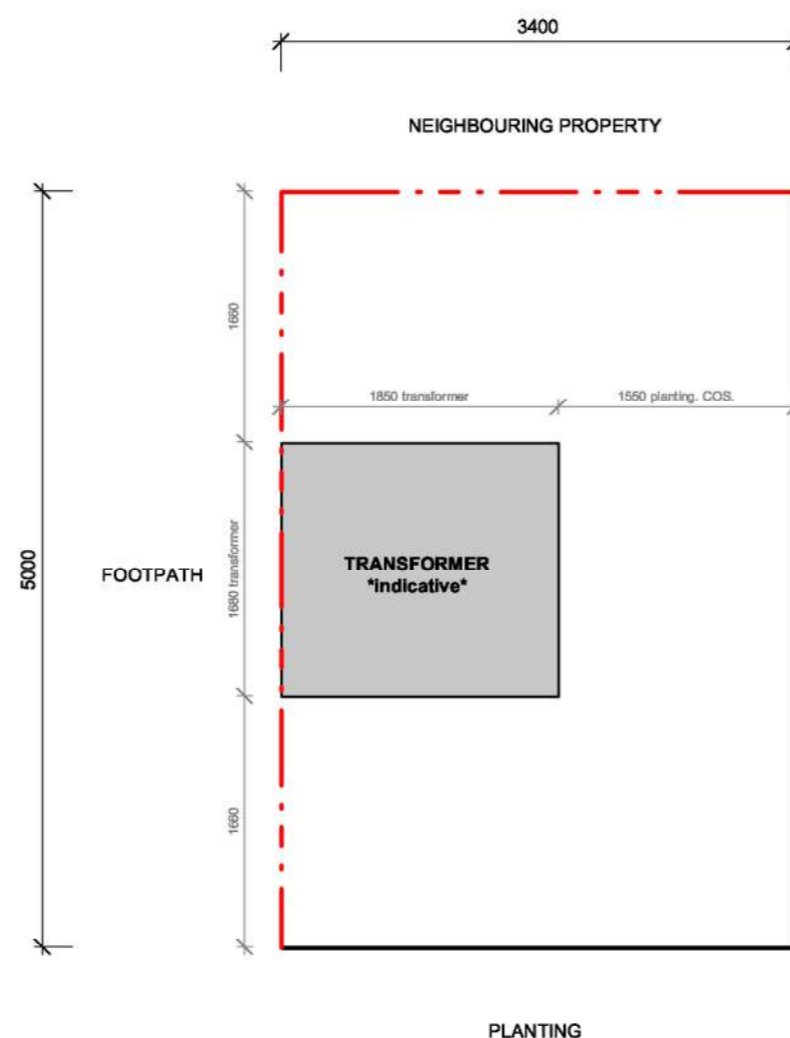
Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



**Transformer Plan**  
SCALE @ A3 - 1 : 50 | SCALE @ A1 - DOUBLE SCALE

RM220070 Approved Plans 9.12.2022

RM220070 Approved Plans 9.12.2022

AERIAL OVERVIEW

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. T875

PLOT DATE. 5/10/2022 4:14:58 PM

**DISCLAIMER: Aerial Overview shown is representational only, and is shown to represent the proposed development's site, density and scale.**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

Site Information

Rainfall Intensity: 70 mm/h

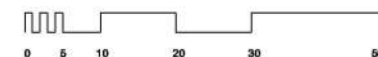
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Napier	+64 6 835 8173	np@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

**RC90** REV.6

## AERIAL OVERVIEW (IN CONTEXT)

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE: **5/10/2022 4:14:58 PM**

**DISCLAIMER: Aerial Overview shown in context is representational only. The image has been overlayed into a Google Maps 3D flattened image to represent the proposed development's site and scale.**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

## Site Information

Rainfall Intensity: 70 mm/h

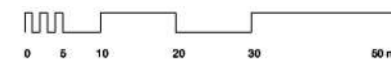
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
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St Paul's Anglican Church



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# RM220070 Approved Plans 9.12.2022

**RC91** REV.6

## **STREET VIEW - HALSEY GROVE ENTRANCE**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## **RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:00 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

## **Site Information**

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

# RC92

REV.6

## STREET VIEW - KAPITI ROAD BOUNDARY

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **6/10/2022 8:07:29 am**

6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022
NO.	DESCRIPTION	DATE

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wm@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

# RC93

REV.6

## STREET VIEW - KAPITI ROAD BOUNDARY

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:02 PM**

6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022
NO.	DESCRIPTION	DATE

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



# RM220070 Approved Plans 9.12.2022

**RC94** REV.6

**EXTERIOR VIEW - KAPITI ROAD ENTRANCE**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

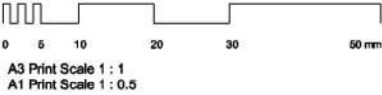
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 4:15:03 PM**

6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022
NO.	DESCRIPTION	DATE

**Site Information**

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

**RC95** REV.6

## EXTERIOR VIEW - KAPITI ROAD ENTRANCE

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:03 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

# RC96

REV.6

## EXTERIOR VIEW - KAPITI ROAD CORNER

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 4:15:04 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

## Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz





**EXTERIOR VIEW - KAPITI ROAD CORNER**

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

**RESOURCE CONSENT**

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:05 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

**Site Information**

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

**RC98** REV.6

## EXTERIOR VIEW - HALSEY GROVE ENTRANCE

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:05 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



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## EXTERIOR VIEW - CENTRAL SPINE SOUTH

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:08 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

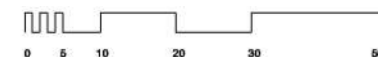
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



RM220070 Approved Plans 9.12.2022

# RC100 REV.6

## EXTERIOR VIEW - CENTRAL SPINE SOUTH

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:07 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
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RM220070 Approved Plans 9.12.2022

# RC101 REV.6

## EXTERIOR VIEW - CENTRAL SPINE NORTH

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:08 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022

### Site Information

Rainfall Intensity: 70 mm/h

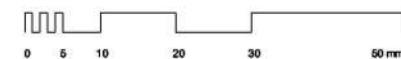
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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RM220070 Approved Plans 9.12.2022

# RC102 REV.6

## EXTERIOR VIEW - CENTRAL SPINE NORTH

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:08 PM**

6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
NO.	DESCRIPTION	DATE

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
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RM220070 Approved Plans 9.12.2022



# RC103 REV.6

## EXTERIOR VIEW - BLOCKS G2 & H1

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:09 PM**

6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022
NO.	DESCRIPTION	DATE

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz

RM220070 Approved Plans 9.12.2022

# RC104 REV.6

## EXTERIOR VIEW - BLOCKS F1 & F2

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:10 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

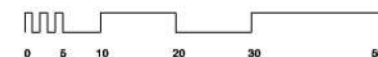
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



RM220070 Approved Plans 9.12.2022

# RC105 REV.6

## EXTERIOR VIEW - LOOP ROAD SOUTH

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:10 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

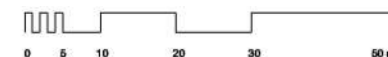
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



RM220070 Approved Plans 9.12.2022

# RC106 REV.6

## EXTERIOR VIEW - BLOCK F2 & CENTRAL PARK

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **6/10/2022 8:07:30 am**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h

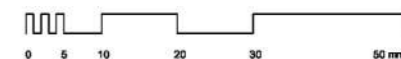
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wm@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 878 8298	ak@dgse.co.nz



RM220070 Approved Plans 9.12.2022

# RC107 REV.6

## EXTERIOR VIEW - CENTRAL PARK

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:12 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

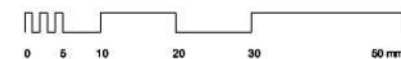
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz



RM220070 Approved Plans 9.12.2022

# RC108 REV.6

## EXTERIOR VIEW - CENTRAL PARK

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:13 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFIs	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
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RM220070 Approved Plans 9.12.2022



# RC109 REV.6

## EXTERIOR VIEW - CENTRAL PARK

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

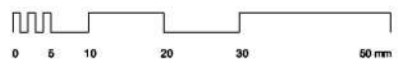
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**  
PLOT DATE. **5/10/2022 4:15:13 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h  
Climate Zone: 2  
Corrosion Zone: C  
Legal Description: Lot 1 DP 88870  
Wind Zone: Very High  
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
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Auckland	+64 9 978 8288	ak@dgse.co.nz

RM220070 Approved Plans 9.12.2022



# RC110 REV.6

## EXTERIOR VIEW - CENTRAL PARK

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:14 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
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RM220070 Approved Plans 9.12.2022



# RC111 REV.6

## EXTERIOR VIEW - CENTRAL PARK

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:15 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

### Site Information

Rainfall Intensity: 70 mm/h

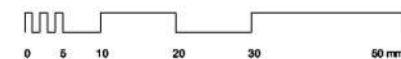
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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RM220070 Approved Plans 9.12.2022

# RC112 REV.6

## EXTERIOR VIEW - BLOCKS A1 & A2

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:16 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022
5	Resource Consent RFI's	24/05/2022
2	Resource Consent	03/03/2022

### Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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RM220070 Approved Plans 9.12.2022

# RC113 REV.6

## EXTERIOR VIEW - BLOCKS A1 & A2

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

### RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:16 PM**

6	Public Notification RFI's	05/10/2022
2	Resource Consent	03/03/2022
NO.	DESCRIPTION	DATE

### Site Information

Rainfall Intensity: 70 mm/h

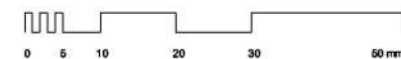
Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

# RC114 REV.6

## EXTERIOR VIEW - BLOCKS A2 & A3

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:17 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
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# RM220070 Approved Plans 9.12.2022

# RC115 REV.6

## EXTERIOR VIEW - BLOCK C2 & C3 & D1

THAMES PACIFIC  
RESIDENTIAL DEVELOPMENT  
240 KAPITI ROAD

## RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **T875**

PLOT DATE. **5/10/2022 4:15:18 PM**

NO.	DESCRIPTION	DATE
6	Public Notification RFI's	05/10/2022

## Site Information

Rainfall Intensity: 70 mm/h

Climate Zone: 2

Corrosion Zone: C

Legal Description: Lot 1 DP 88870

Wind Zone: Very High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1  
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 8238	tr@dgse.co.nz
Napier	+64 6 835 8173	np@dgse.co.nz
Auckland	+64 9 978 8288	ak@dgse.co.nz



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