

Appendix 2

Conditions of Consent – Clean

General

1. The proposed activity shall be undertaken in general accordance with:
 - Woodhams Meikle Zhan Architects Plans:
 - Proposed Site Plan, Job No. 2026-73, DWG No. RMA-101, Rev. G
 - Elevations, Job No. 2026-73, DWG No. RMA-102, Rev. D
 - Cross Sections, Job No. 2026-73, DWG No. RMA-103, Rev. C
 - NR Landscape Architecture Landscape Plans
 - Landscape Concept Plan, Sheet 1 of 3, Rev C
 - Planting Plan, Sheet 2 of 3, Rev C
 - Plant Schedules, Sheet 3 of 3, Rev C
 - Tim Kelly Transportation Planning Limited Plans:
 - Indicative Road Layout Changes, Drawing No. 21-005-SK001, Rev. G
 - Vehicle Tracking Plan, Drawing No. 21-005-SK002, Rev. E
 - Vehicle Tracking Plan, Drawing No. 21-005-SK003, Rev. E
 - Vehicle Tracking Plan, Drawing No. 21-005-SK004, Rev. E
 - Vehicle Tracking Plan, Drawing No. 21-005-SK005, Rev. E
 - Annexure E to the Integrated Transport Assessment entitled Travel Plan (draft)
 - Maven Associates Plans:
 - Proposed Carpark Flood Volume Plan, Project No. 109022, Drawing No. C202, Rev. A
 - Proposed Earthworks Plan, Project No. 109022, Drawing No. C203, Rev. A
 - Proposed Flood Storage Tank Earthwork Plan, Project No. 109022, Drawing No. C204, Rev. A
 - Proposed Retaining Plan, project No. 109022, Drawing No. C220, Rev. A
 - Proposed South-East Retaining Wall Long Section, Project No. 109022, Drawing No. C221, Rev. A
 - Proposed Carpark Plan, Project No. 109022, Drawing No. C310, Rev. A
 - Proposed Carpark Plan, Project No. 109022, Drawing No. C311, Rev. A
 - Proposed Carpark Plan, Project No. 109022, Drawing No. C312, Rev. A

- Proposed Carpark Plan, Project No. 109022, Drawing No. C313, Rev. A
- Proposed Carpark Plan, Project No. 109022, Drawing No. C314, Rev. A
- Proposed Carpark Cross Sections, Project No. 109022, Drawing No. C320, Rev. A
- Site Overview Plan, Project No. 109022, Drawing No. C400, Rev. A
- Stormwater Flooding Cross Sections, Project No. 109022, Drawing No. C401, Rev. A
- Stormwater Flooding Cross Sections, Project No. 109022, Drawing No. C402, Rev. A
- Truck Access Long Section, Project No. 109022, Drawing No. C403, Rev. A
- Proposed Private Services Plan, Project No. 109022, Drawing No. C410, Rev. B
- Proposed Services Standard Details, Project No. 109022, Drawing No. C490, Rev. A
- Proposed Private Services Plan, Project No. 109022, Drawing No. C430, Rev. A
- Proposed Private Services Plan, Project No. 109022, Drawing No. C431, Rev. A
- Proposed Sediment Control Plan, Project No. 109022, Drawing No. C205, Rev. A
- Proposed Sediment Control Details, Project No. 109022, Drawing No. C206, Rev. A

All stamped as 'Final Approved Plans' on XX July 2022 and the information specifications lodged with the application RM210151 and the further information request responses provided by Forme Planning Limited on 3, 9 and 12 August, 30 September and 5 October 2021 except where modified by conditions of consent.

Note: Proposed bus stops as illustrated in the drawings referenced in condition 1 are indicative in location and design only. Detailed design and implementation are dependent on the certification of the Regional Council and road controlling authority.

2. The consent holder shall comply with the requirements of the Kapiti Coast District Council's (KCDC's) Subdivision and Development Principles and Requirements 2012 (SDPR: 2012), unless alternatives are proposed by the consent holder and accepted by the Council's Development Engineer.
3. Any illumination of signs shall comply with the following:
 - a. All relevant Civil Aviation Authority Requirements; and
 - b. Light levels shall not exceed 10 lux, measured 1.5m inside the boundary of any adjoining Residential Zone.
4. Mitigation of flood hazard to create flood free building area and construction of compensatory storage must be undertaken in accordance with the details and specifications within the Infrastructure Report prepared by Maven Associates, dated 2 July 2021 and submitted to Council in relation to application RM210151 except where modified by conditions of consent.

Prior to the Commencement of Works

5. The consent holder shall submit copies of the plans and specifications for the engineering development for approval to the satisfaction of the Council's Development Engineer. The engineering development must be in accordance with Paragraphs 1 to 5 of Schedule 1 contained in Part 4 of the Kapiti Coast District Council's Subdivision and Development Principles and Requirements, 2012. No works shall commence until the plans are approved by KCDC's Development Engineer.

Note: Engineering drawings shall contain sufficient detail to clearly illustrate the proposal to enable assessment of compliance with the Kapiti Coast District Council's Subdivision and Development Principles and Requirements, 2012, to enable accurate construction and show individual service connections to each tenancy.

6. The consent holder shall provide the Council's Development Engineer with the names of the Developer's or Owner's Representative(s) appointed in terms of Clause B(ii) of Part 3 of the Kapiti Coast District Council's Subdivision and Development Principles and Requirements, 2012.
7. The consent holder shall advise the names and professional qualifications of any Suitably Qualified Persons required in terms of Clause B(iii) of Part 3

of the Kapiti Coast District Council's Subdivision and Development Principles and Requirements 2012.

Suitably Qualified Persons are required for, but not necessarily limited to, the following areas:

- Civil Engineering
- Stormwater Design and construction
- Water and wastewater design & construction

Note: If the Council considers any of the nominated persons are not acceptable then the consent holder shall nominate alternative persons, or the Council may require the consent holder to employ a specified Suitably Qualified Person or Persons at the consent holder's cost.

8. At least 10 working days prior to the commencement of works, the consent holder shall submit for approval in writing by Council's Development Engineer and Access and Transport Manager, a Construction Management Plan (CMP) which shall include the following:

- a. Details of control of mud and detritus from the site onto the road – onsite wheel washing and offsite road sweeping.
- b. Details of onsite turning for delivery vehicles.
- c. Site compound location shown on a plan.
- d. Identified areas for site offices and site operative parking.
- e. Mitigation for the prevention of discharge of any material beyond the boundary of the subject site.
- f. Noise controls and hours of construction.
- g. Stormwater runoff.
- h. The matters outlined in the Ministry for the Environment's Contaminated Land Management Guidelines No.1 Reporting on Contaminated Sites in New Zealand (Revised 2011).

Note: For the avoidance of doubt, material includes but is not limited to silt, sediment, vegetation and aggregate.

9. All earthworks and site investigations and remediation shall be undertaken in accordance with the approved CMP and Site Remedial Action Plan required under condition 22.
10. No works shall commence until the CMP required under condition 8 has been approved in writing by Council's Development Engineer.

11. The consent holder shall comply with the requirements of the approved CMP. Any proposed amendments to the CMP shall be submitted to the Council's Development Engineer for consideration and approval. No work shall commence until amendments to the CMP have been approved by the Council's Development Engineer in writing.

(12. Deleted.)

13. A Landscape Management Plan (LMP) shall be provided at least 20 working days prior to the purchasing of plants for approval by Council's Development Engineer and be implemented in the first planting season following completion of the building and civil works. The LMP shall achieve the outcomes contained within the approved Landscape Concept Plan referenced in Condition 1 and as a minimum contain the following:

- Existing vegetation to be retained;
- Any vegetation to be removed;
- The extent of planting, paved (impermeable) surfaces and other landscaping elements;
- Details of plant species that shall be native to the Foxton Ecological District;
- Location of plants;
- Number of plants;
- Plant grade sizes;
- An implementation plan describing the methods of soil preparation, details of drainage, fertilising, mulching, spraying, irrigation, staking tree pits, ongoing maintenance, replacing of dead/poorly performing plants and weed and pest management;
- Scheduling of work, including maintenance to ensure successful establishment; and,
- The location, height, and type of fencing.

14. The consent holder shall investigate the actual material and condition of the existing 800mm private sewer rising main and provide the findings to Council's Development Engineer as part of the detailed design. If the private sewer rising main is found to be not fit for purpose, the pipe shall be

upgraded with the necessary details provided to the Council as part of the required building consent.

15. Prior to the commencement of works within the road reserve, detailed design of the improvements to the Friendship Place/Kapiti Road roundabout, the additional left-turn lane on the north-western approach to the roundabout on Kapiti Road and the secondary access to Kapiti Road shall be provided for approval in writing by Council's Access and Transport Manager. The approved activity shall not commence operation onsite until the improvement works have been completed.

Note: For the avoidance of doubt, the improvement works referenced in Condition 15 relate to the construction of the crossings to the site; the construction of the left-turn lane from Friendship Place heading north on Kapiti Road, and the construction of the additional left-turn lane on the north-western approach to the roundabout on Kapiti Road. These works are illustrated in concept in the drawings at Condition 1.

Note: Proposed bus stops as illustrated in the drawings referenced in condition 1 are indicative in location and design only. Detailed design and implementation are dependent on the certification of the Regional Council and road controlling authority.

Geotechnical

16. Following the demolition of the existing building and prior to construction of the new building, onsite geotechnical investigations will be undertaken and an updated geotechnical assessment, including recommendations for foundation design to mitigation any liquefaction risk prepared by a suitably qualified person shall be submitted to Council's Development Engineer. All building works on the site shall take into account the findings of the approved report.

Engineering

17. The consent holder shall notify Council's Development Engineer prior to commencement of the following stages of work, so that the Council's Development Engineer, or their authorised representative, are present on site to inspect certain stages of the works. These stages are as follows:
 - Commencement of works or recommencement after a substantial lapse;
 - Water reticulation connections and services prior to back fill;

- Wastewater services and construction of new manholes prior to back fill;
 - Completed earthworks and prepared subgrade (roading and footpaths, if any);
 - Final inspection.
18. The development shall have water supply with strainer meter and RPZ which complies with the requirements of OIML R49 (International Organization of Legal Metrology R49:2006 Water Meters Intended for the Metering of Cold Potable Water and Hot Water - Parts 1 to 3).
- Note:** The Consent Holder's attention is drawn to the 'Approved Water Supply Products & Materials List, WS-10: Water Meters' (<http://www.kapiticoast.govt.nz/Planning/Resource-Consents/Standard-Drawing/WaterStandard-Drawings>). Installing an approved water meter is a means of compliance with this condition.
19. Firefighting requirements for the development shall comply with the New Zealand Fire Service Firefighting Water Supplies Code of Practice SNZ PAS 4509:2008.
20. Any unused existing water service connections being abandoned shall be capped at the main.
21. Any unused existing wastewater service connections being abandoned shall be capped at the main.

Contaminated Soil

22. A Detailed Site Investigation (DSI) report detailing the findings of onsite investigation works (soil sampling) following the demolition of the existing building, and a site remedial action plan, shall be submitted at least 20 working days prior to the commencement of the construction works consented under RM210151 for approval in writing by Council's Development Engineer.

Note: The DSI report, remedial action plan and monitoring and management plan shall cover the matters outlined in the Ministry for the Environment's Contaminated Land Management Guidelines No.1 Reporting on Contaminated Sites in New Zealand (Revised 2011).

23. Within 20 working days of the completion of remedial works on the site, a Site Validation Report (SVR) shall be provided to Council. The SVR shall be prepared by a suitably qualified contaminated land professional in accordance with the Ministry of Environment Contaminated Land Management Guidelines, No 1 Reporting and Contaminated Sites in New Zealand and No. 5 Site Investigation and Analysis of Soils. The person preparing the report shall also provide a statement certifying that all works have been carried out in accordance with the requirements of the consent.

Transport

24. Detailed Design and Post Construction road safety audits are to be provided upon completion of works and are required for the proposed alterations to Friendship Place/Kapiti Road roundabout and the secondary access to Kapiti Road.

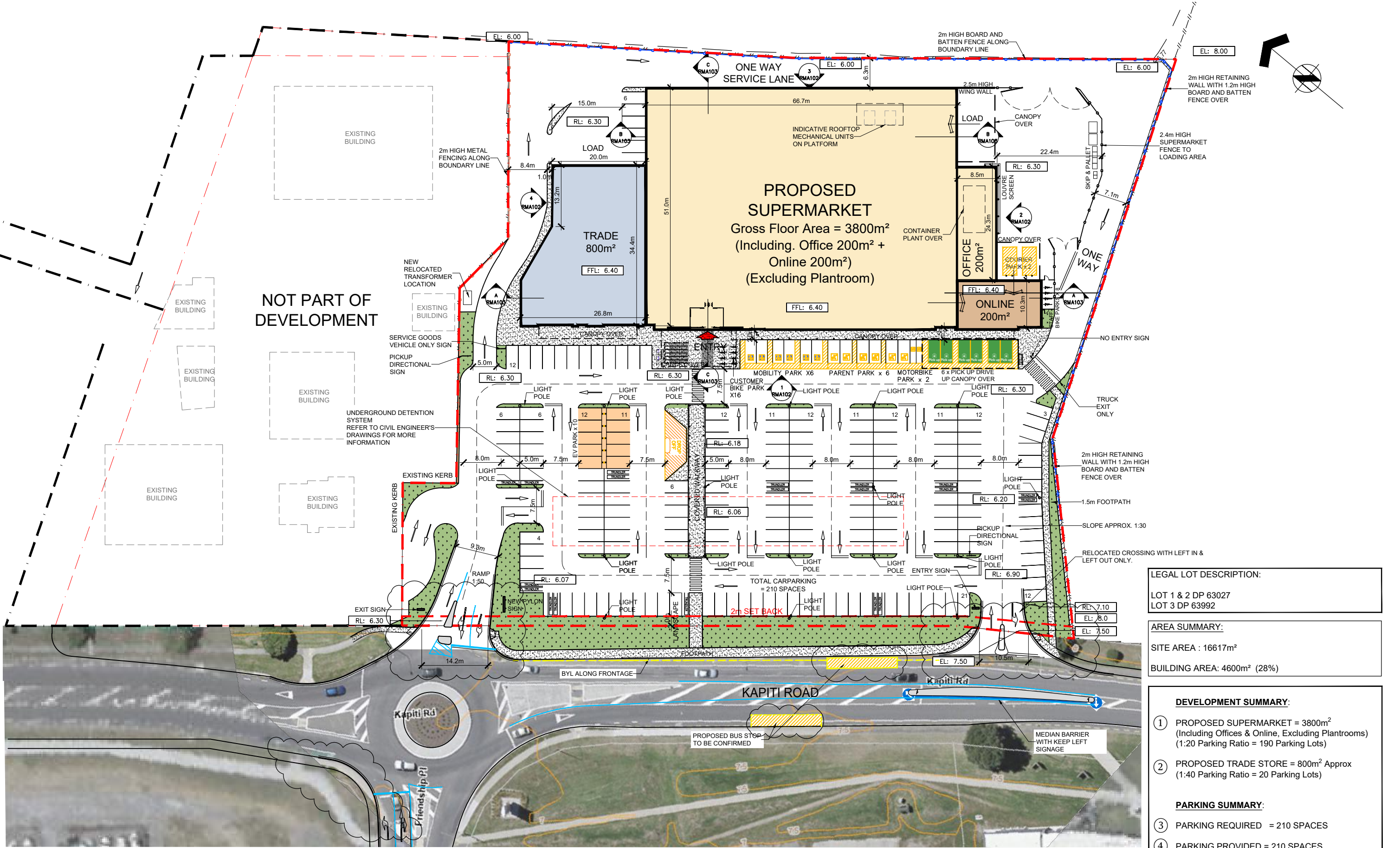
Note: The road safety audits are to be carried out in accordance with guidance contained in the Kāpiti Coast District Council Subdivision and Development Principles and Requirements 2012 and Waka Kotahi (NZTA) guidance.

Note: For the avoidance of doubt, the proposed alterations referenced in Condition 24 relate to the construction of the crossings to the site, the construction of the left-turn lane from Friendship Place heading north on Kapiti Road, and the construction of the additional left-turn lane on the north-western approach to the roundabout on Kapiti Road. These works are illustrated in concept in the drawings at Condition 1.

25. The Post Construction road safety audit shall be provided to Council's Access and Transport Manager for approval in writing at least 20 working days prior to the opening of the supermarket.
26. Any required signage/road markings must be provided in accordance with TCD's, The Manual for Traffic Signs and Signals: 2010 and Traffic Control Devices Manual: 2008.
27. A workplace travel plan shall be submitted to Council's Access and Transport Manager for certification at least 20 working days prior to the opening of the supermarket. The travel plan shall achieve the outcomes of the draft Travel

Plan referred to in Condition 1 and outline measures, facilities, and incentives to encourage non-car travel to and from the site.

(Refer section 42A hearing report for advice notes (unchanged))



LEGAL LOT DESCRIPTION:
LOT 1 & 2 DP 63027
LOT 3 DP 63992

AREA SUMMARY:
SITE AREA : 16617m²
BUILDING AREA: 4600m² (28%)

DEVELOPMENT SUMMARY:

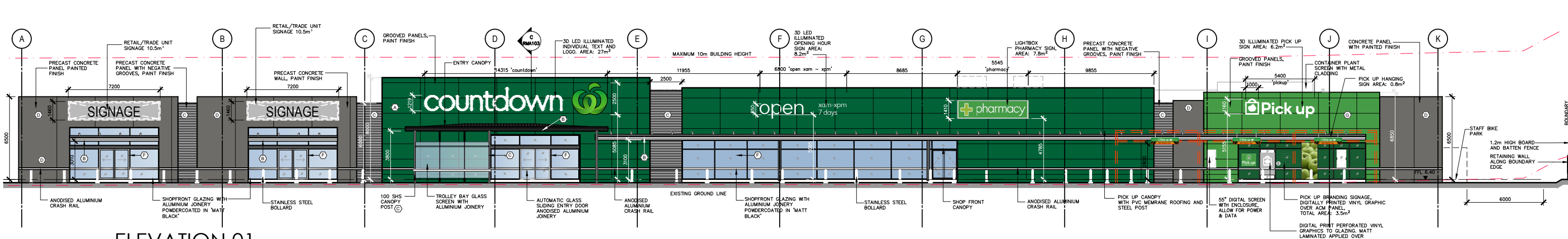
- ① PROPOSED SUPERMARKET = 3800m² (Including Offices & Online, Excluding Plantrooms) (1:20 Parking Ratio = 190 Parking Lots)
- ② PROPOSED TRADE STORE = 800m² Approx (1:40 Parking Ratio = 20 Parking Lots)

PARKING SUMMARY:

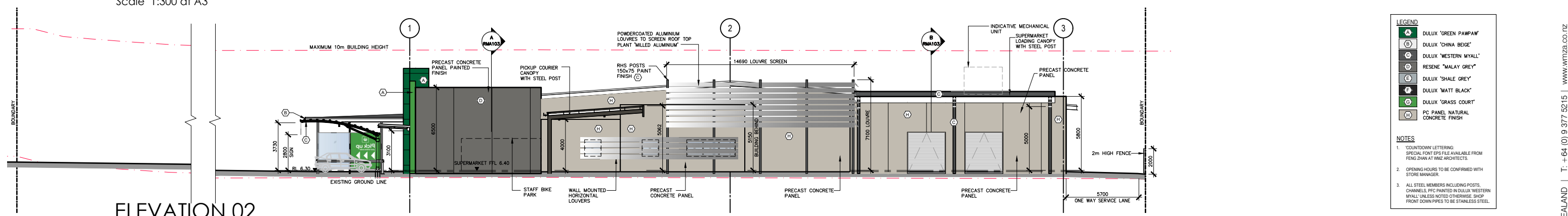
- ③ PARKING REQUIRED = 210 SPACES
- ④ PARKING PROVIDED = 210 SPACES

PROPOSED SITE PLAN
Scale 1:750 at A3

RMA ISSUE



ELEVATION 01
Scale 1:300 at A3



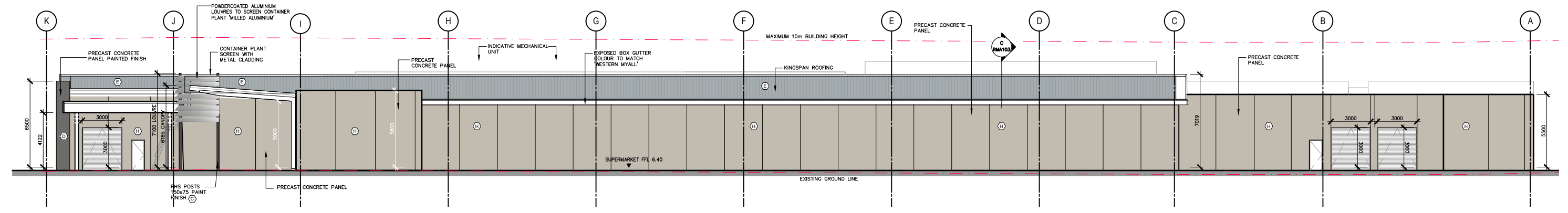
ELEVATION 02
Scale 1:300 at A3

LEGEND

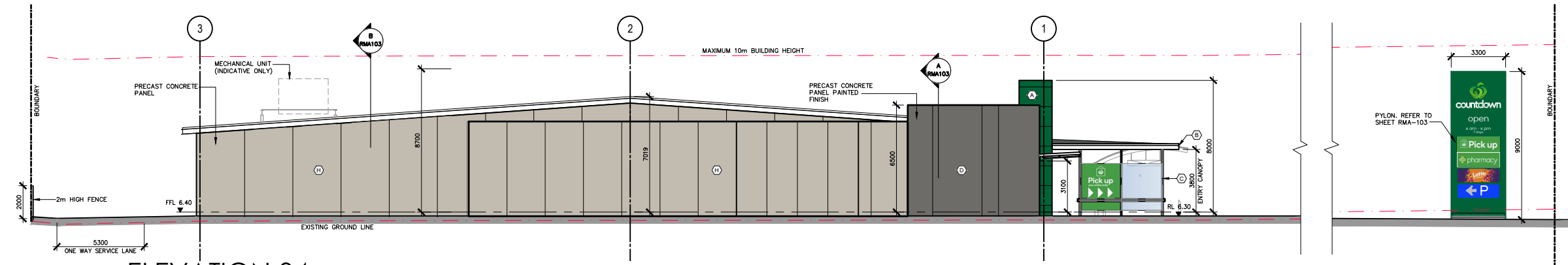
- (A) DULUX 'GREEN PAWPAW'
- (B) DULUX 'CHINA BEIGE'
- (C) DULUX 'WESTERN MYALL'
- (D) RESENE 'MALAY GREY'
- (E) DULUX 'SHALE GREY'
- (F) DULUX 'MATT BLACK'
- (G) DULUX 'GRASS COURT'
- (H) PC PANEL NATURAL CONCRETE FINISH

NOTES

- 'COUNTDOWN' LETTERING: SPECIAL FONT EPS FILE AVAILABLE FROM FENG ZHAN AT RMA ARCHITECTS.
- OPENING HOURS TO BE CONFIRMED WITH STORE MANAGER.
- ALL STEEL MEMBERS INCLUDING POSTS, CHANNELS, PPC PAINTED IN DULUX 'WESTERN MYALL' UNLESS NOTED OTHERWISE. SHOP FRONT DOWNPIPES TO BE STAINLESS STEEL.



ELEVATION 03
Scale 1:300 at A3



ELEVATION 04
Scale 1:300 at A3

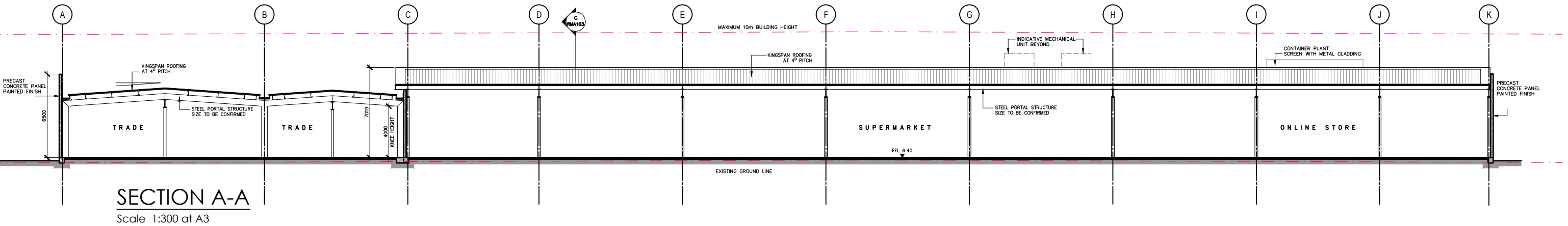
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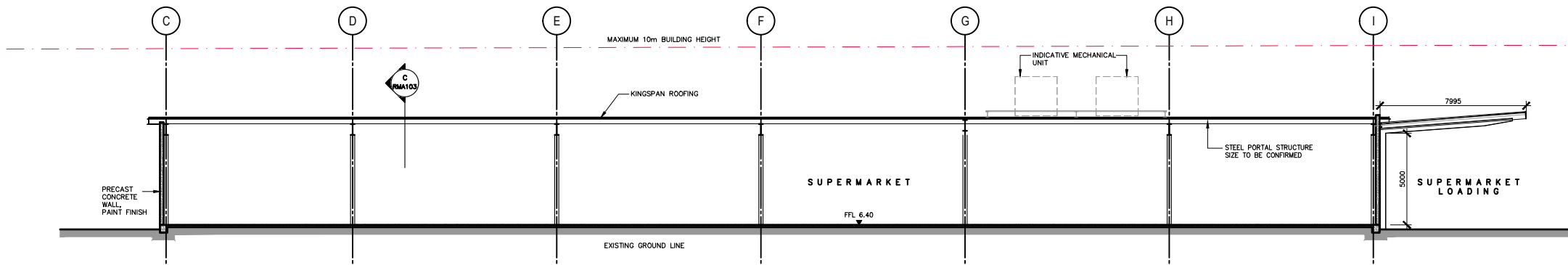
PROPOSED SUPERMARKET RMA
Countdown 160 Kapiti Road, Paraparaumu

SCALE: 1:300 at A3
DATE: 07 JULY 2021
JOB NO: 2026-73
DWG NO: RMA-102 Rev D

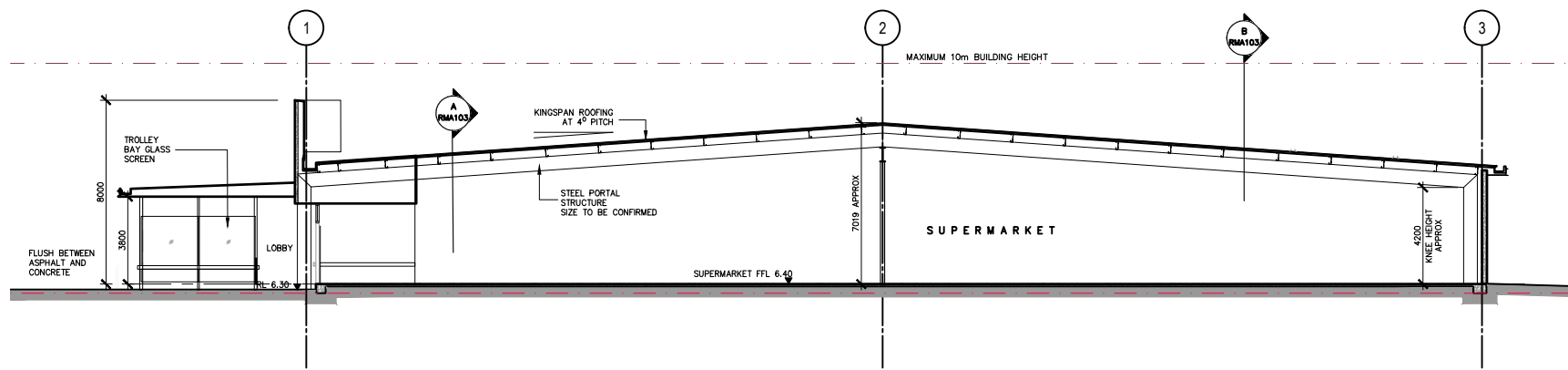
**WOODHAMS
MEIKLE
ZHAN
ARCHITECTS**



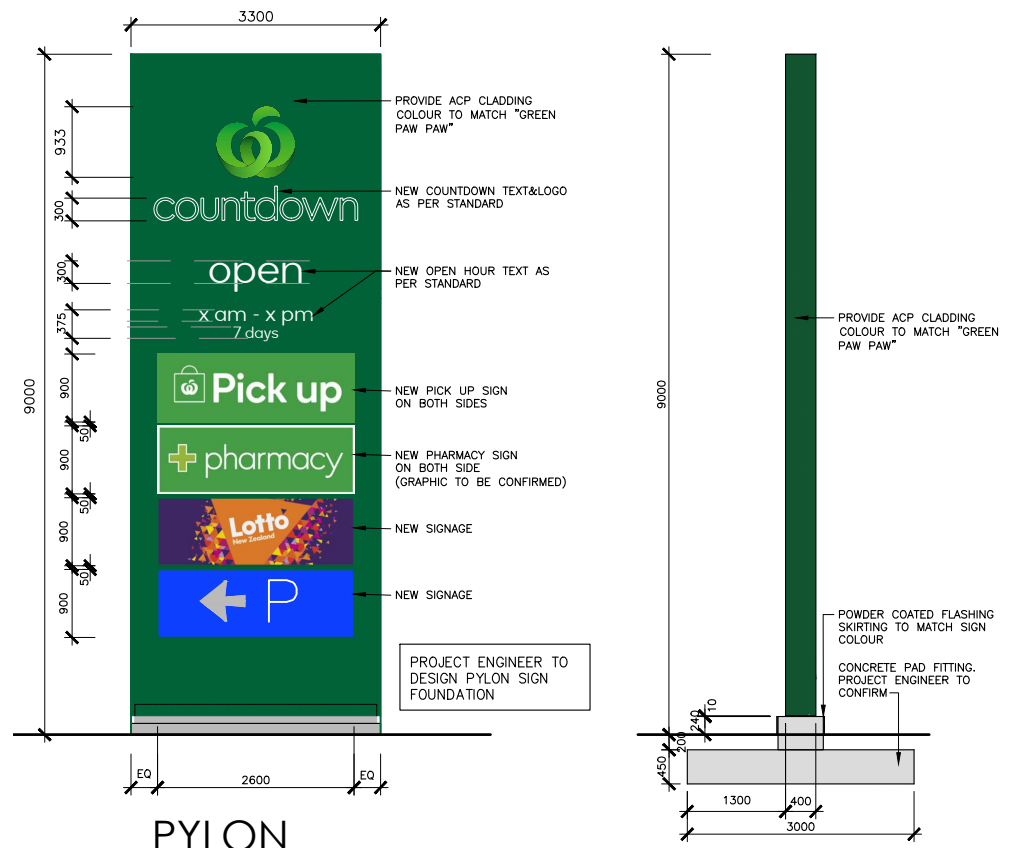
SECTION A-A
Scale 1:300 at A3



SECTION B-B
Scale 1:300 at A3



SECTION C-C
Scale 1:300 at A3



PYLON
Scale 1:100 at A3

RMA ISSUE

DRAWING INDEX - FOR CONSENT

LANDSCAPE CONCEPT PLAN

PLANTING PLAN

PLANT SCHEDULES

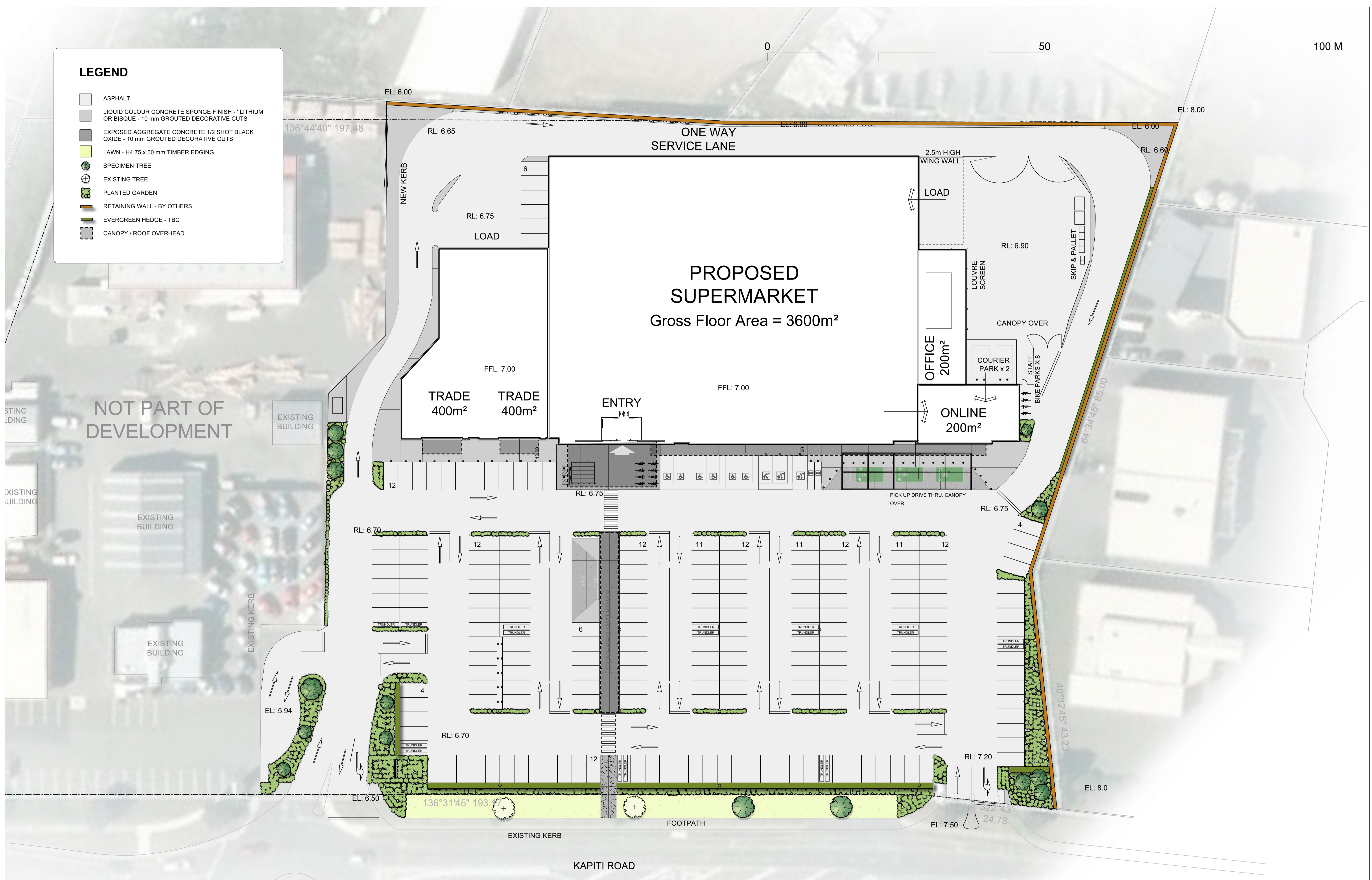


REV
C

COUNTDOWN DEVELOPMENT
160 KAPITI ROAD, PARAPARAUMU



08 July 2021





PLANT LIST - **SHRUBS & GROUND COVERS**

Quantity	Latin Name	Common Name	Scheduled Size	Spacing	Height @ Planting	Height @ Maturity
28	Acaena purpurea	Purple biddybiddy	1L	800	200	200
49	Arthropodium 'matapouri bay'	Rengarenga	2L	700	400	800
97	Chionochloa flavicans	Miniature Toi toi	1L	1000	400	1200
85	Coprosma 'Hawera'	Ground Cover Coprosma	2L	800	100	300
112	Hebe 'Wiri Mist'	Hebe	1L	800	300	1000
120	Lomandra 'Lime Tuff'	Lime Tuff	1L	700	400	1000
18	Muehlenbeckia astonii	Muehenbeckia	3L	1250	500	1500
32	Muehlenbeckia axillaris	Muehenbeckia	2L	800	100	200
49	Phormium 'Black Rage'	Flax	2 L	1000	500	1000
254	Phormium 'Emerald Gem'	Dwarf Flax	2L	800	500	2000
42	Phormium 'Jack Spratt'	Miniature Flax	1L	600	400	1000
154	Pittosporum 'Hedgehog'	Dwarf Pitto	2L	800	300	600
0				0	300	700

PLANT LIST - **HEDGES**

Quantity	Latin Name	Common Name	Scheduled Size	Spacing	
67	Corokia cotoneaster	Korokio	3L	800	
124	Griselinea lucida	Broadleaf	3L	800	
0				0	

PLANT LIST - **TREES**

Quantity	Latin Name	Common Name	Height @ Maturity	Scheduled Size
10	Metrosideros maori princess	Upright Pohutakawa	10000	19L
2	Plagianthus regius	Ribbonwood	10000 +	10L
3	Sophora microphylla	Kowhai	4000 +	19L



NOT FOR CONSTRUCTION

REV	REVISION DESCRIPTION	DRAWN	CHECKED	APPROVED	DATE
G	MINOR REVISIONS	JO	JO		10.06.22
F	ENTRY GEOMETRY ADDED, DESIGN REVISED	JO	TK		10.06.22
E	ADDITIONAL LANE ADDED TO NORTHWESTERN APPROACH	JO	TK		31.03.22

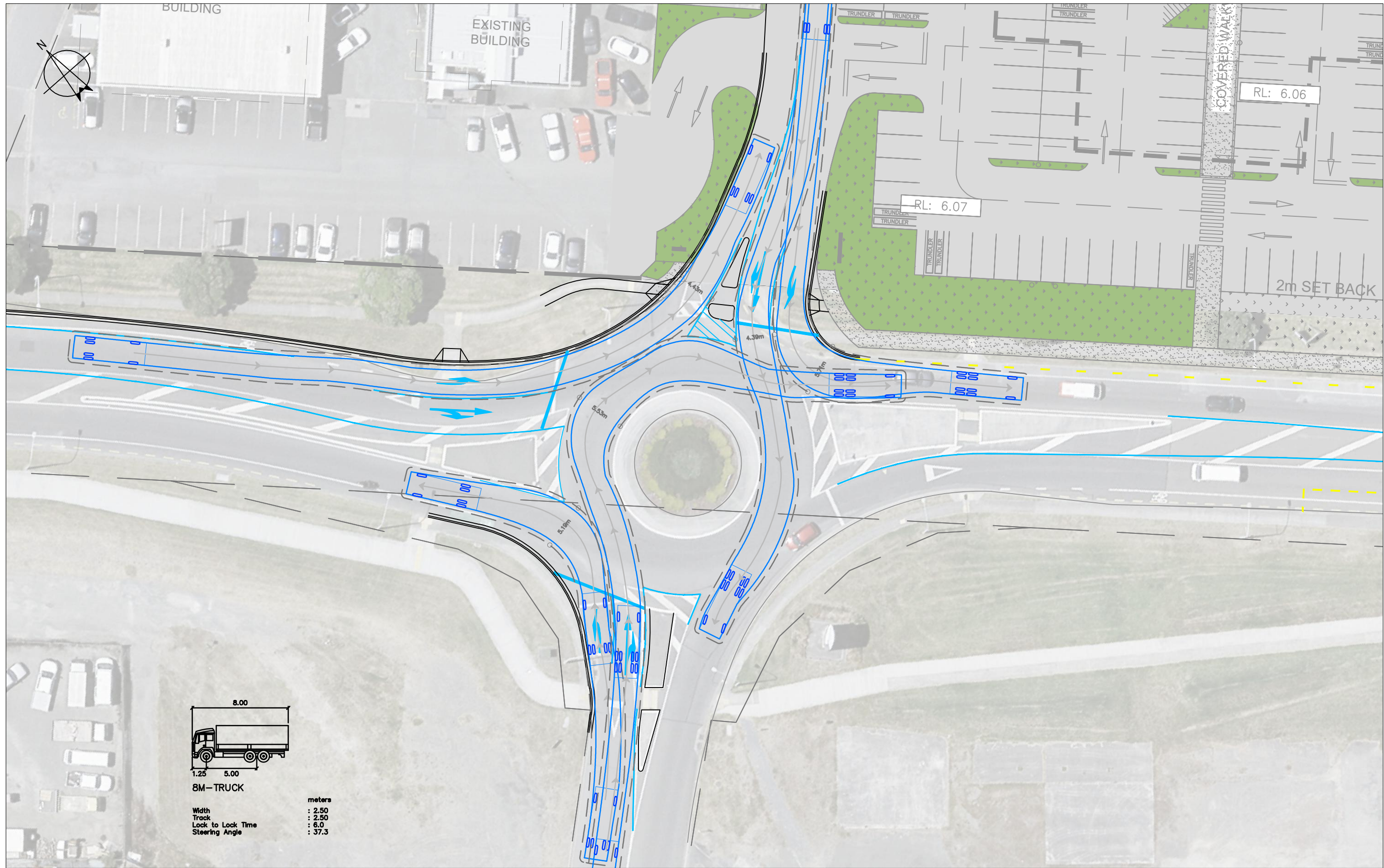
	NAME
DESIGNED	J. ORRINGE
DRAWN	J. ORRINGE
REVIEWED	T. KELLY
APPROVED	



CIVIL & TRANSPORTATION DESIGN LIMITED
josh@ctdesign.co.nz
027 641 6653

TIM KELLY TRANSPORTATION PLANNING LIMITED
COUNTDOWN KAPITI ROAD, PARAPARAUMU
INDICATIVE ROAD LAYOUT CHANGES

DRAWING STATUS: CONCEPT	
PLOT DATE: 10.06.2022	SCALE AT A1: 1:300
DRAWING NO. 21-005-SK001	REV G



NOT FOR CONSTRUCTION

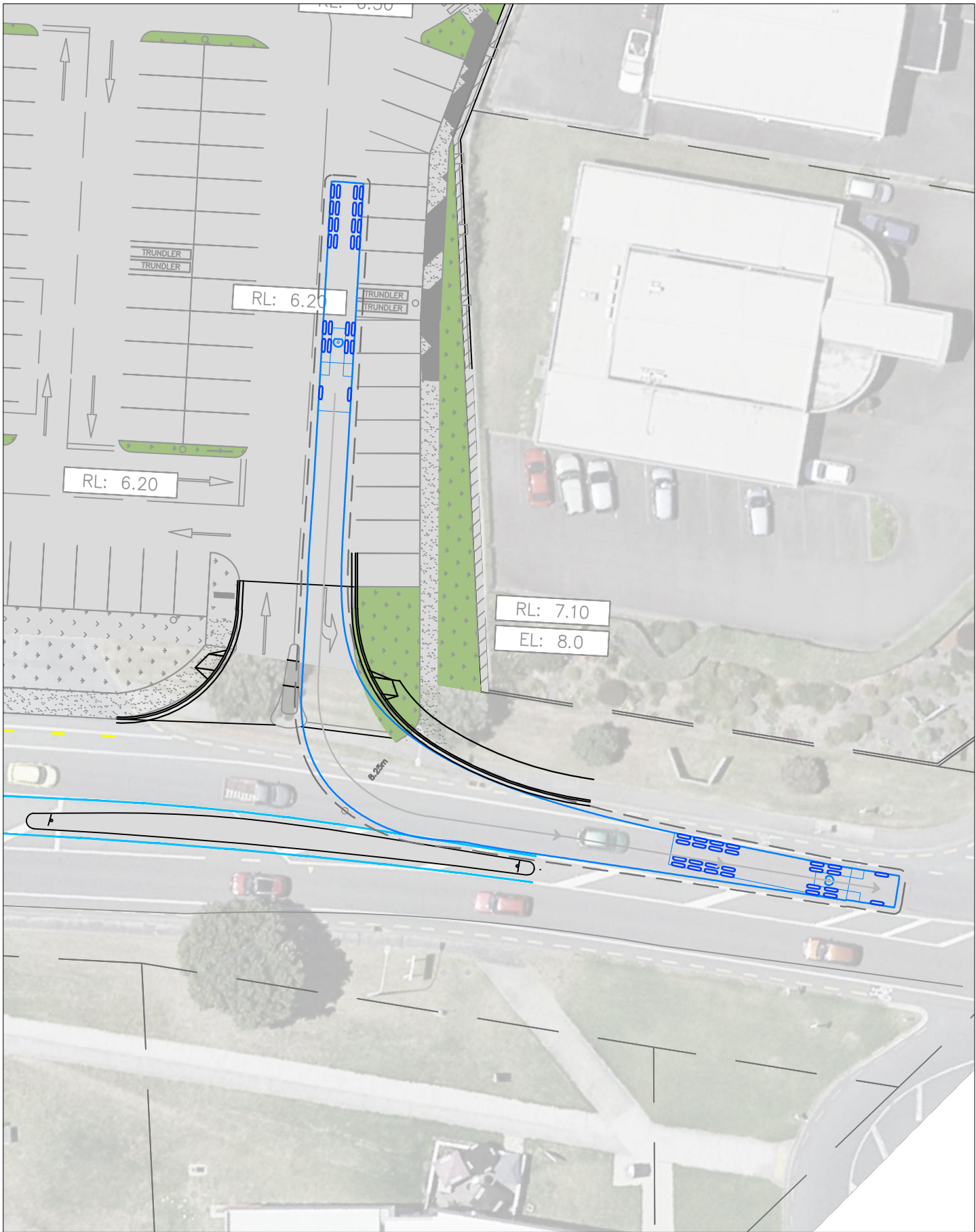
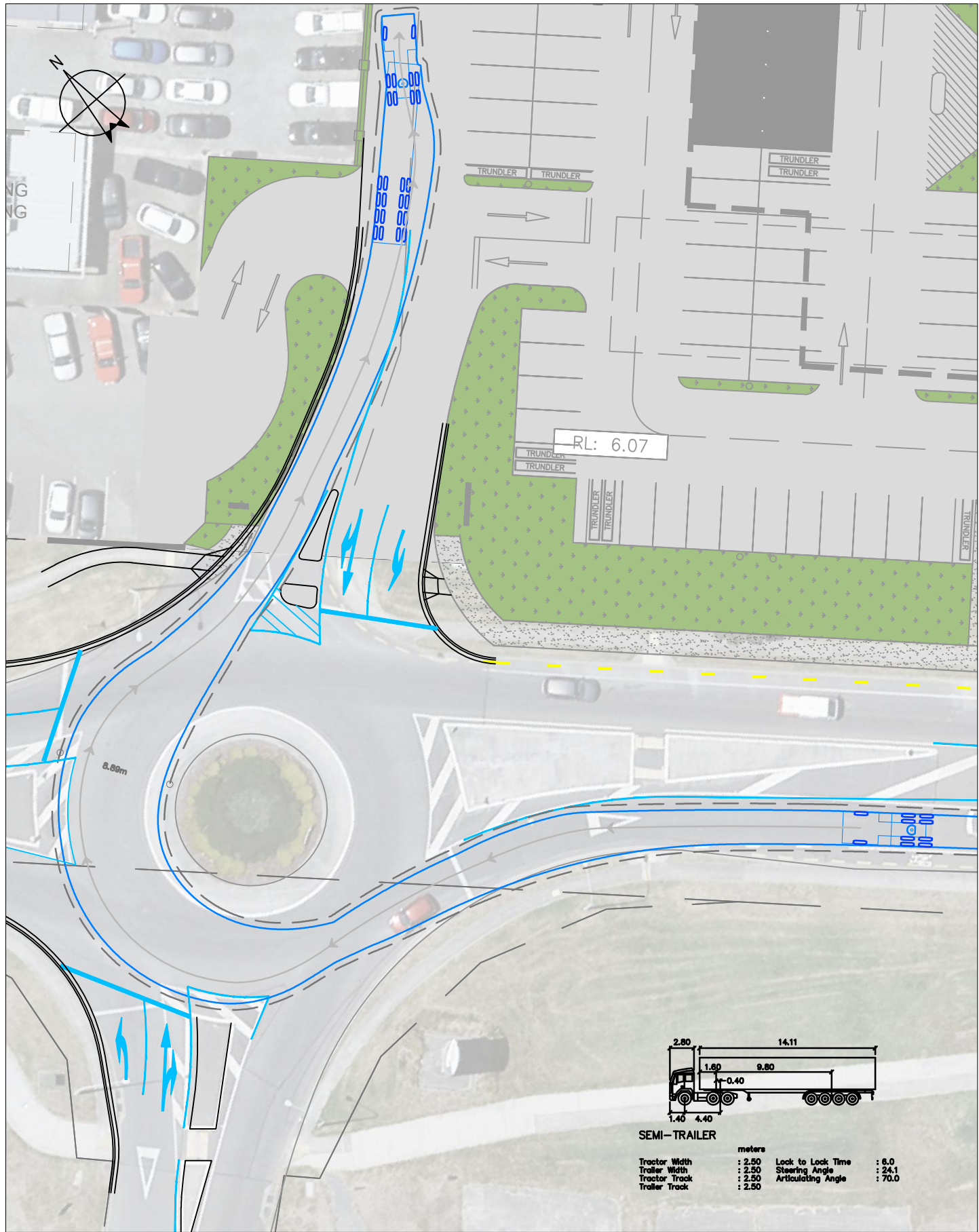
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D	DESIGN REVISED TO AVOID LAND TAKE	JO	TK		03.12.21	
C	LAND TAKE AREA ADDED	JO	TK		01.12.21	DRAWN J. ORRINGE
B	23m B-TRAIN TRACKING ADDED	JO	TK		29.09.21	
A	ISSUED FOR DISCUSSION	JO	TK		28.09.21	REVIEWED T. KELLY



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TIM KELLY TRANSPORTATION PLANNING LIMITED
COUNTDOWN KAPITI ROAD, PARAPARAUMU
VEHICLE TRACKING PLAN
8m MEDIUM RIGID TRUCK

DRAWING STATUS:	
CONCEPT	
PLOT DATE: 01.04.2022	SCALE AT A1: 1:200
DRAWING NO. 21-005-SK002	REV E



NOT FOR CONSTRUCTION

REV	REVISION DESCRIPTION	DRAWN	CHECKED	APPROVED	DATE	APPROVED
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D	DESIGN REVISED TO AVOID LAND TAKE	JO	TK		03.12.21	J. ORRIDGE
C	LAND TAKE AREA ADDED	JO	TK		01.12.21	DRAWN
B	23m B-TRAIN TRACKING ADDED	JO	TK		29.09.21	J. ORRIDGE
A	ISSUED FOR DISCUSSION	JO	TK		28.09.21	T. KELLY

CTD

CIVIL & TRANSPORTATION DESIGN LIMITED

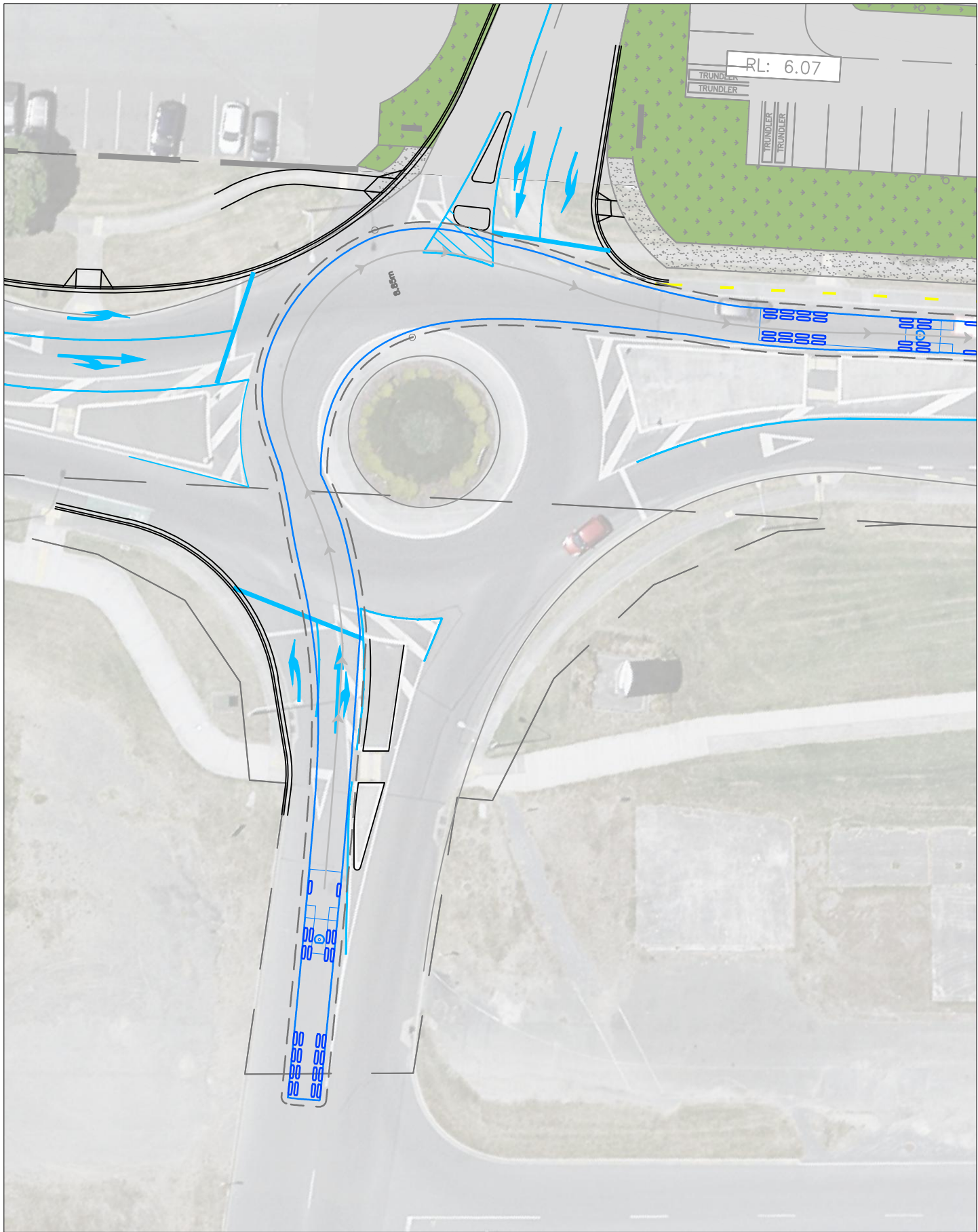
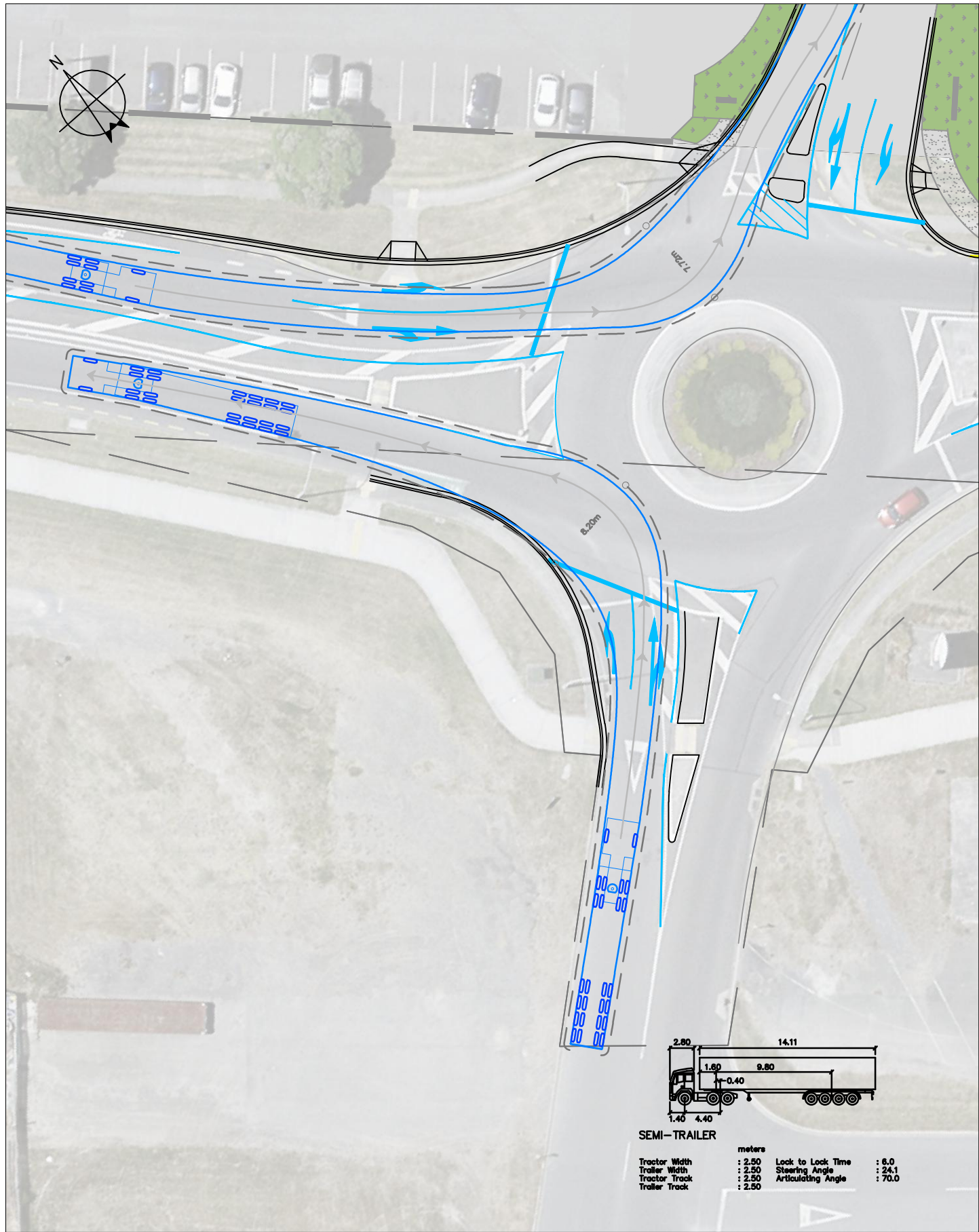
josh@ctdesign.co.nz

027 641 6653

TIM KELLY TRANSPORTATION PLANNING LIMITED
COUNTDOWN KAPITI ROAD, PARAPARAUMU

VEHICLE TRACKING PLAN
SEMI - TRAILER TRACKING

DRAWING STATUS:	
CONCEPT	
PLOT DATE:	SCALE AT A1:
01.04.2022	1:200
DRAWING NO.	REV
21-005-SK003	E



NOT FOR CONSTRUCTION

REV	REVISION DESCRIPTION	DRAWN	CHECKED	APPROVED	DATE	APPROVED	NAME
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D	DESIGN REVISED TO AVOID LAND TAKE	JO	TK		03.12.21	DRAWN	J. ORRINGE
C	LAND TAKE AREA ADDED	JO	TK		01.12.21	REVIEWED	T. KELLY
B	23m B-TRAIN TRACKING ADDED	JO	TK		29.09.21		
A	ISSUED FOR DISCUSSION	JO	TK		28.09.21		



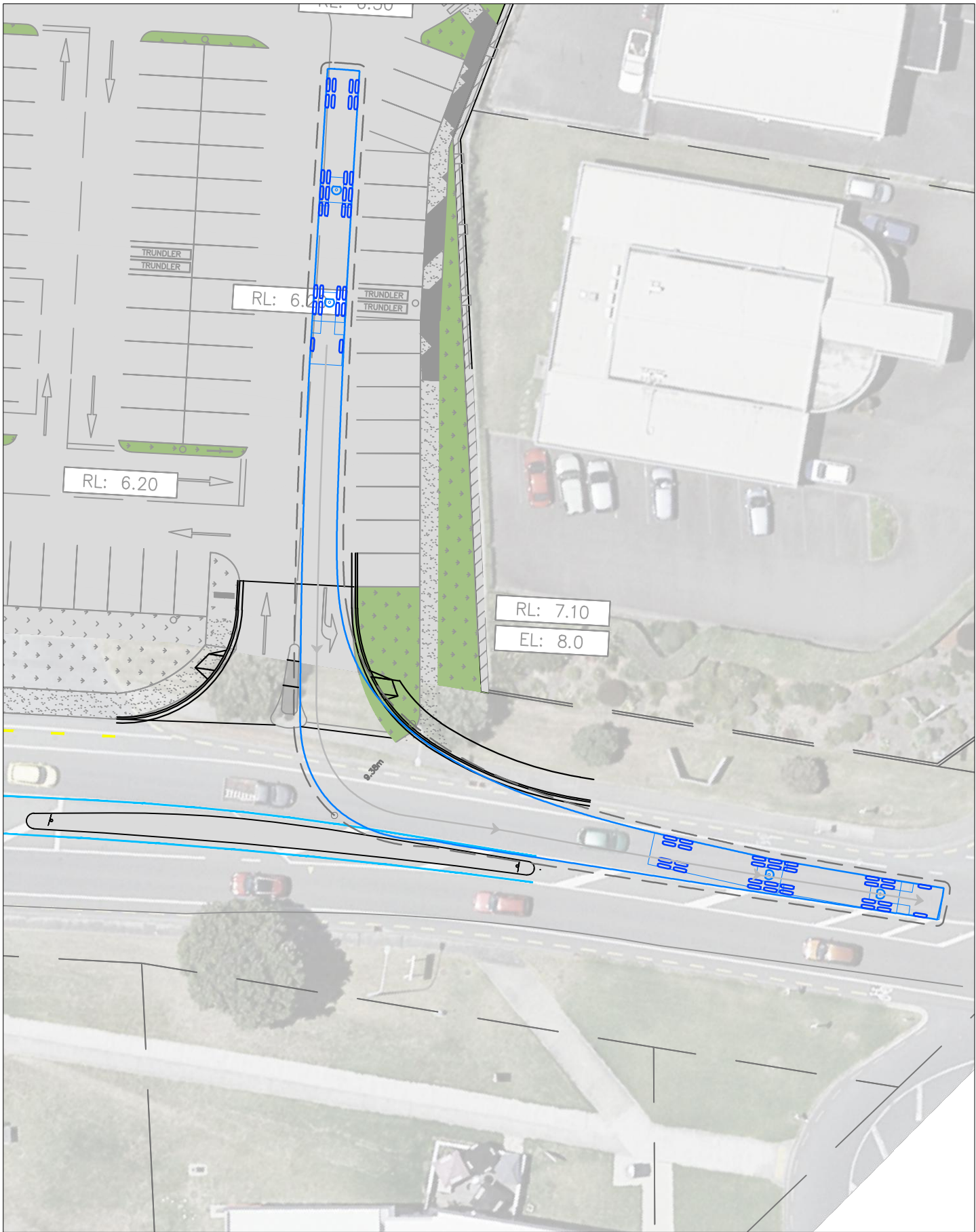
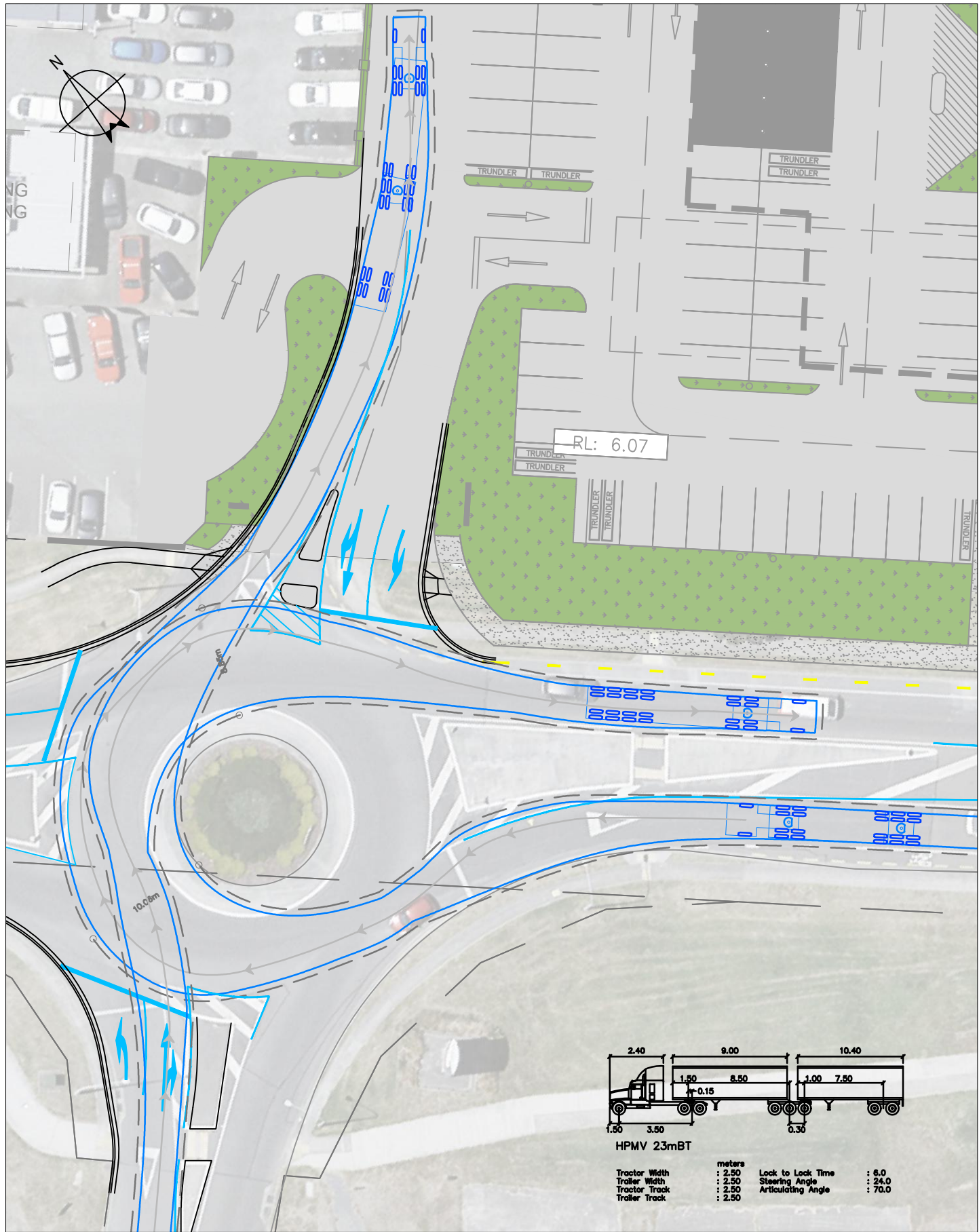
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TRANSPORTATION
DESIGN LIMITED

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027 641 6653

TIM KELLY TRANSPORTATION PLANNING LIMITED
COUNTDOWN KAPITI ROAD, PARAPARAUMU

VEHICLE TRACKING PLAN
SEMI TRAILER

DRAWING STATUS:		CONCEPT	
PLOT DATE:	01.04.2022	SCALE AT A1:	1:200
DRAWING NO.	21-005-SK004	REV	E



NOT FOR CONSTRUCTION

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D	DESIGN REVISED TO AVOID LAND TAKE	JO	TK		03.12.21	J. ORRIDGE
C	LAND TAKE AREA ADDED	JO	TK		01.12.21	DRAWN
B	23m B-TRAIN TRACKING ADDED	JO	TK		29.09.21	J. ORRIDGE
A	ISSUED FOR DISCUSSION	JO	TK		28.09.21	T. KELLY

NAME	
J. ORRIDGE	DESIGNED
J. ORRIDGE	DRAWN
T. KELLY	REVIEWED
	APPROVED



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DESIGN LIMITED
josh@ctdesign.co.nz
027 641 6653

TIM KELLY TRANSPORTATION PLANNING LIMITED
COUNTDOWN KAPITI ROAD, PARAPARAUMU
VEHICLE TRACKING PLAN
23m B-TRAIN

DRAWING STATUS:	CONCEPT
PLOT DATE:	01.04.2022
SCALE AT A1:	1:200
DRAWING NO.	21-005-SK005
REV	E

Travel Plan (draft)

1. Scope

There is generally limited scope to significantly influence supermarket customer trips, as most involve significant purchases and/or car travel which is combined with a number of other purposes. Nonetheless, the supermarket design recognises that a small proportion of trips are made on foot, by cycle or public transport and seeks to facilitate and promote such trips.

The primary focus is therefore upon staff trips and encouraging these to use alternative modes of transport to the private car.

Reference has been made to the tools available on the Greater Wellington website regarding sustainable travel initiatives.

2. Objectives

The objective of this Travel Plan is to minimise the quantum of vehicular travel associated with the movement of supermarket staff and customers to and from the site.

3. Methods

A variety of methods are proposed to achieve the objective above:

- site design: provide good accessibility to the established pedestrian and cycle networks in this area and convenient access to the available public bus services in this area;
- provide on-site end-of-trip facilities to encourage cycling as a mode of travel;
- provide information to staff regarding the availability of alternative travel modes;
- guaranteeing a lift home for staff who have not used their own vehicle for travel to work where circumstances make this necessary for staff safety or well-being;
- incentivise staff to use alternatives to private cars;
- minimise longer-distance travel; and
- promote home delivery as an alternative to individual vehicle trips.

4. Implementation

Travel Co-Ordinator

The supermarket should appoint a Travel-Coordinator (a staff member allocated this task), whose roles would include:

- implementation of the measures in this Travel Plan;
- assist staff with the co-ordination of travel (for example, to provide information relating to facilities, co-ordinate vehicle sharing, etc);
- liaison with KDCD relating to travel-related matters;
- liaison with GWRC relating to workplace travel initiatives – implementation of measures defined by its ‘Get Your Workplace Moving’ material and available at <http://www.gw.govt.nz/getting-to-work/>;

- preparation of a staff travel handbook;
- organisation of initiatives to promote sustainable travel modes.

Site Design

As described in Sections 3 and 4, the site design provides for a direct pedestrian route between the footpath on the Kāpiti Road frontage and the supermarket entrance area. This will be partially covered and will give pedestrians priority over vehicle movements within the parking area. This facility will be available for cyclists to use to wheel bicycles to the area of customer cycle parking.

This pedestrian route would also be convenient for the additional bus stops proposed for both sides of Kāpiti Road adjacent to the supermarket.

Cycle End-Of-Trip Facilities

The customer cycle parking area should not only be secure (enabling customers to lock bicycles to metal stands etc and monitored by CCTV) but should also be weatherproof.

Similarly, staff who cycle should have an area to store bicycles which is secure and weatherproof. A shower and changing facility should be provided for staff use.

Travel Information

As part of their induction, all new staff (both full and part time) should be provided with an information booklet which summarises the available options for travel to and from the supermarket. In addition to the inclusion of information on the walking, cycling and public transportation networks, this should indicate how staff can combine vehicle use where feasible, with reference to the national car-pooling initiative at www.smarttravel.org.nz.

Internal car-pooling (between Countdown employees) can be promoted by introducing potential members to one another through an organised morning tea event or similar.

External car-pooling (between Countdown employees and external employees) can be promoted through reference to www.smarttravel.org.nz.

Guaranteed Trip Home

For staff who walk, cycle, use the bus or car-share, a possibility exists that they may be unable to return home when needed, for example if required to work late or if a family emergency arises. The supermarket should guarantee that any staff will be able to be given a lift home in such circumstances (either by another staff member with a vehicle or by requesting a taxi).

Incentives

The supermarket should monitor staff travel patterns and offer prizes / vouchers for those minimising their private car use (on a monthly or quarterly basis). New staff could be given travel passes for use on the bus/rail network.

Longer-Distance Travel

Senior staff members are likely to have requirements to travel within and beyond the region on company business. Some meetings can now be replaced by on-line meetings, reducing the

time, costs and environmental consequences of travel. Where possible, such on-line tools should be used to minimise external travel.

Home Delivery

Countdown is already promoting its home delivery service, which avoids a need for customers to make a vehicle trip to the supermarket. The continuation and expansion of this facility will further reduce overall levels of vehicular activity associated with the supermarket.



PROPOSED SITE FLOOD VOLUME

PONDING VOLUME 340 m³

DP 368035

PROPOSED BUILDING FOOTPRINT

LOT 2
DP 63992

LOT 3
DP 84865

LOT 2
DP 84865

LOT 1
DP 84865

KAPITI ROAD

- Notes
1. All works to be in accordance with KCDP council standards.
 2. It is the contractors responsibility to locate all services that may be affected by his operations.
 3. The contractor shall comply with all relevant Health and Safety requirements.
 4. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 5. Sediment control shall be installed and operational before earthworks start onsite in accordance with council standards.
 6. Contractor shall provide asbuilt of working sediment control devices and confirmation of pond/decent volumes to engineer.

Legend

EX BDY

PROP BDY

PONDING DEPTH			
Number #	Minimum Elevation	Maximum Elevation	Color
1	0.000	0.050	
2	0.050	0.100	
3	0.100	0.150	
4	0.150	0.200	
5	0.200	0.250	

A	RC	CA	06/2021
Rev	Description	By	Date
Survey	CUTTRISS		09/16
Design	CA		06/21
Drawn	CA		06/21
Checked	GB		06/21

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Project

**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Title

**PROPOSED
CARPARK FLOOD
VOLUME PLAN**

Project no.	109022
Scale	NTS
Cad file	109022 C200 PONDING.DWG
Drawing no.	C202
Rev	A



BULK SUBGRADE WORKS

CUT VOLUME 1,883 m³
FILL VOLUME 1036 m³
NET CUT 847 m³

ADDITIONAL CUT AND CART OFFSITE
VOLUME FOR SW TANKS 1,974 m³

EARTHWORKS AREA = 16,619m² / 1.66 Ha

NOTE: NO ALLOWANCE FOR SERVICES TRENCHES

- Notes
1. All works to be in accordance with KCDP council standards.
 2. It is the contractors responsibility to locate all services that may be affected by his operations.
 3. The contractor shall comply with all relevant Health and Safety requirements.
 4. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 5. Sediment control shall be installed and operational before earthworks start onsite in accordance with council standards.
 6. Contractor shall provide asbuilt of working sediment control devices and confirmation of pond/decent volumes to engineer.

Legend

EX BDY
PROP BDY

Number #	Minimum Elevation	Maximum Elevation	Color
1	-2.000	-1.500	
2	-1.500	-1.000	
3	-1.000	-0.500	
4	-0.500	0.000	
5	0.000	0.500	
6	0.500	1.000	

A	RC	CA	06/2021
Rev	Description	By	Date
		By	Date
Survey	CUTTRISS		09/16
Design	CA		06/21
Drawn	CA		06/21
Checked	GB		06/21

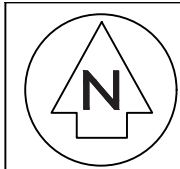


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Project
**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Title
**PROPOSED
EARTHWORKS
PLAN**

Project no.	109022
Scale	NTS
Cad file	109022 C200 PONDING.DWG
Drawing no.	C203
Rev	A



FLOOD STORAGE CHAMBER VOLUME

INITIAL CUT VOLUME ESTIMATE 2281 m³

LOT 63
DP 368035

LOT 2
DP 63992

LOT 3
DP 84865

LOT 2
DP 84865

LOT 1
DP 84865

KAPITI ROAD

EXCAVATION AT 1:1 GRADE

CUT -1.67

CUT -1.68

CUT -1.68

CUT -1.68

- Notes
1. All works to be in accordance with KCDP council standards.
 2. It is the contractors responsibility to locate all services that may be affected by his operations.
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 4. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 5. Sediment control shall be installed and operational before earthworks start onsite in accordance with council standards.
 6. Contractor shall provide asbuilt of working sediment control devices and confirmation of pond/decent volumes to engineer.

Legend

EX BDY

PROP BDY

Cut/Fill Table			
Number #	Minimum Elevation	Maximum Elevation	Color
1	-2.000	-1.500	
2	-1.500	-1.000	
3	-1.000	-0.500	
4	-0.500	0.000	

A	RC	CA	06/2021
Rev	Description	By	Date
		By	Date
Survey	CUTTRISS		09/16
Design	CA		06/21
Drawn	CA		06/21
Checked	GB		06/21

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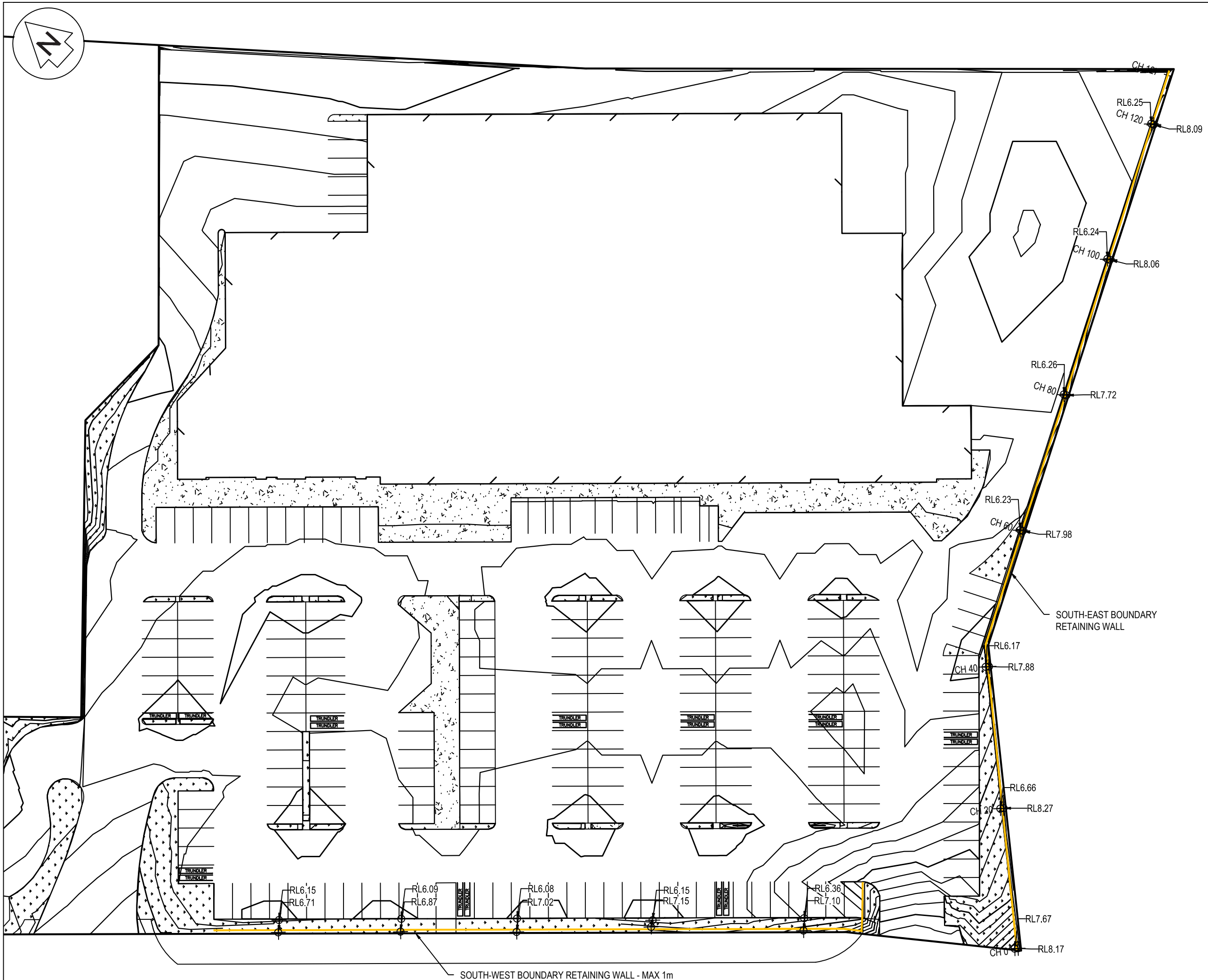
Project

**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Title

**PROPOSED
FLOOD STORAGE TANK
EARTHWORKS PLAN**

Project no.	109022
Scale	NTS
Cad file	109022 C200 PONDING.DWG
Drawing no.	C204
Rev	A

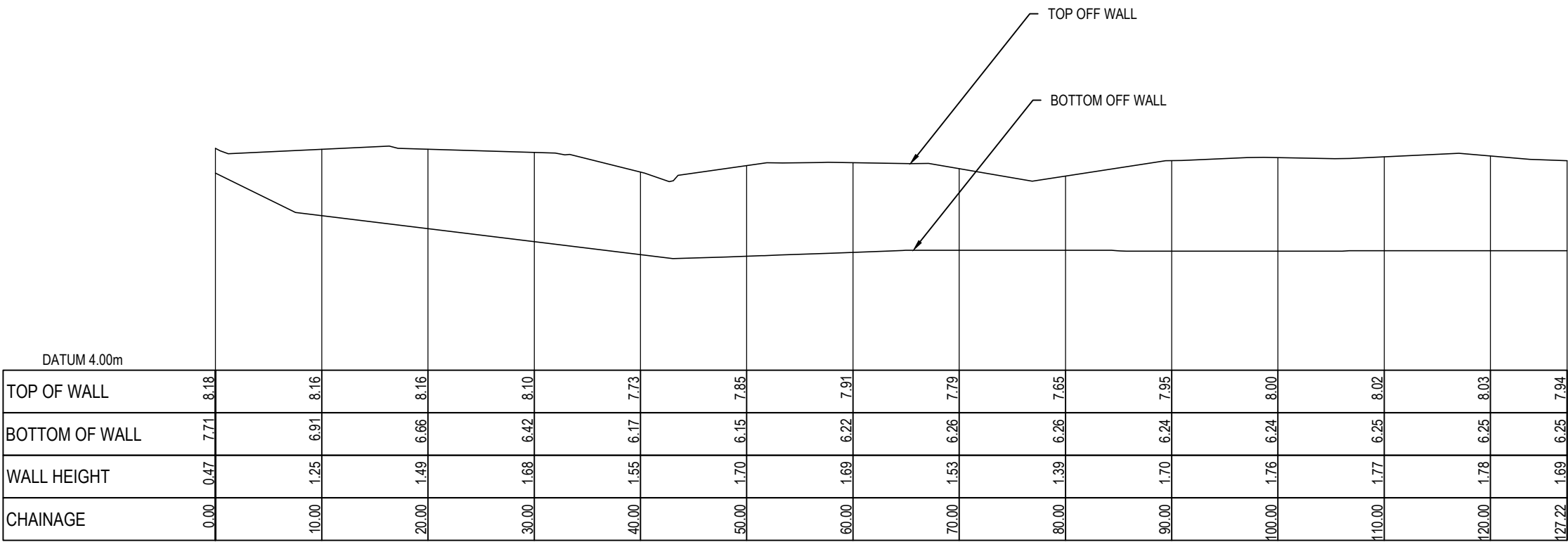


- | |
|--|
| Notes |
| <ol style="list-style-type: none"> 1. All works to be in accordance with KCDC standards. 2. It is the contractors responsibility to locate all services that may be affected by his operations. 3. The contractor shall comply with all relevant Health and Safety requirements. 4. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services. |

A	RC	CA	06/2021
Rev	Description	By	Date
	By	Date	
Survey	CUTTRISS	09/16	
Design	CA	2021	
Drawn	CA	2021	
Checked	BB	2021	

Project
**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Project no.	109022		
Scale	1:500 @ A3		
Cad file	109022 C220 RETAINING.DWG		
Drawing no.	C220	Rev	A



SOUTH EAST BOUNDARY RETAINING WALL
SCALE: HORI 1:1000 VERT 1:200

- Notes
1. All works to be in accordance with KCDC standards.
 2. It is the contractors responsibility to locate all services that may be affected by his operations.
 3. The contractor shall comply with all relevant Health and Safety requirements.
 4. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.

Legend

	EX BDY
	PROP BDY
	PR MAJOR CONTOUR
	PR MINOR CONTOUR
	PROP RETIANING

A	RC	CA	06/2021
Rev	Description	By	Date
	By	Date	
Survey	CUTTRISS	09/16	
Design	CA	2021	
Drawn	CA	2021	
Checked	BB	2021	



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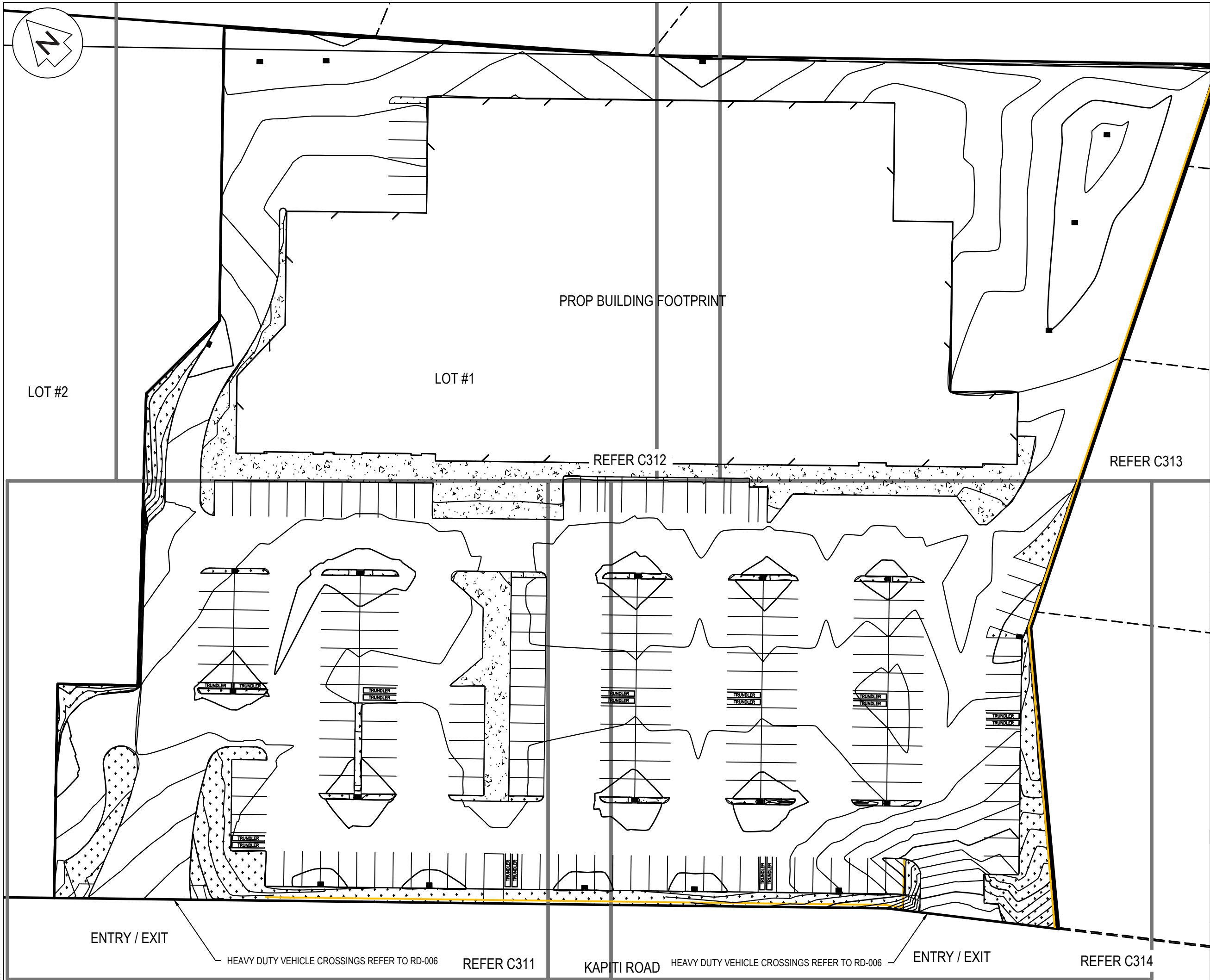
Project

**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Title

**PROPOSED SOUTH-EAST
RETAINING WALL
LONG SECTION**

Project no.	109022		
Scale	1:500 @ A3		
Cad file	109022 C220 RETAINING.DWG		
Drawing no.	C221	Rev	A



- Notes
1. All works to be in accordance with KDC standards.
 2. Pipe bedding: 0 - 10% granular bedding, 10 - 20% weak concrete bedding, greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
 3. Each connection shall be marked by a 50mmx50mm treated pine stake extending 600mm above ground level with the top painted. This marker post shall be placed alongside a timber marker installed at the time of pipelaying and extending from the connection to 150mm below finished ground level. Connections shall be accurately indicated on "as built" plans.
 4. Approved hardfill is to be used in backfilling of all road crossings and vehicle crossings to council standards.
 5. Heavy duty manhole lids and frames to be used in trafficked areas.
 6. All Manholes are to be 1050mmØ unless shown otherwise.
 7. All cesspit leads shall have min cover 0.9m.
 8. All lines to be abandoned shall be sealed at each end, timing of all sealing to be coordinated with council staff.

Legend

---	EX BDY
---	PROP BDY
---	ABUTTING BDY'S
---	PROP SWCP SINGLE
---	PROP SWCP DOUBLE
---	PROP RETAINING
---	PROP LANDSCAPING
---	PROP CONCRETE

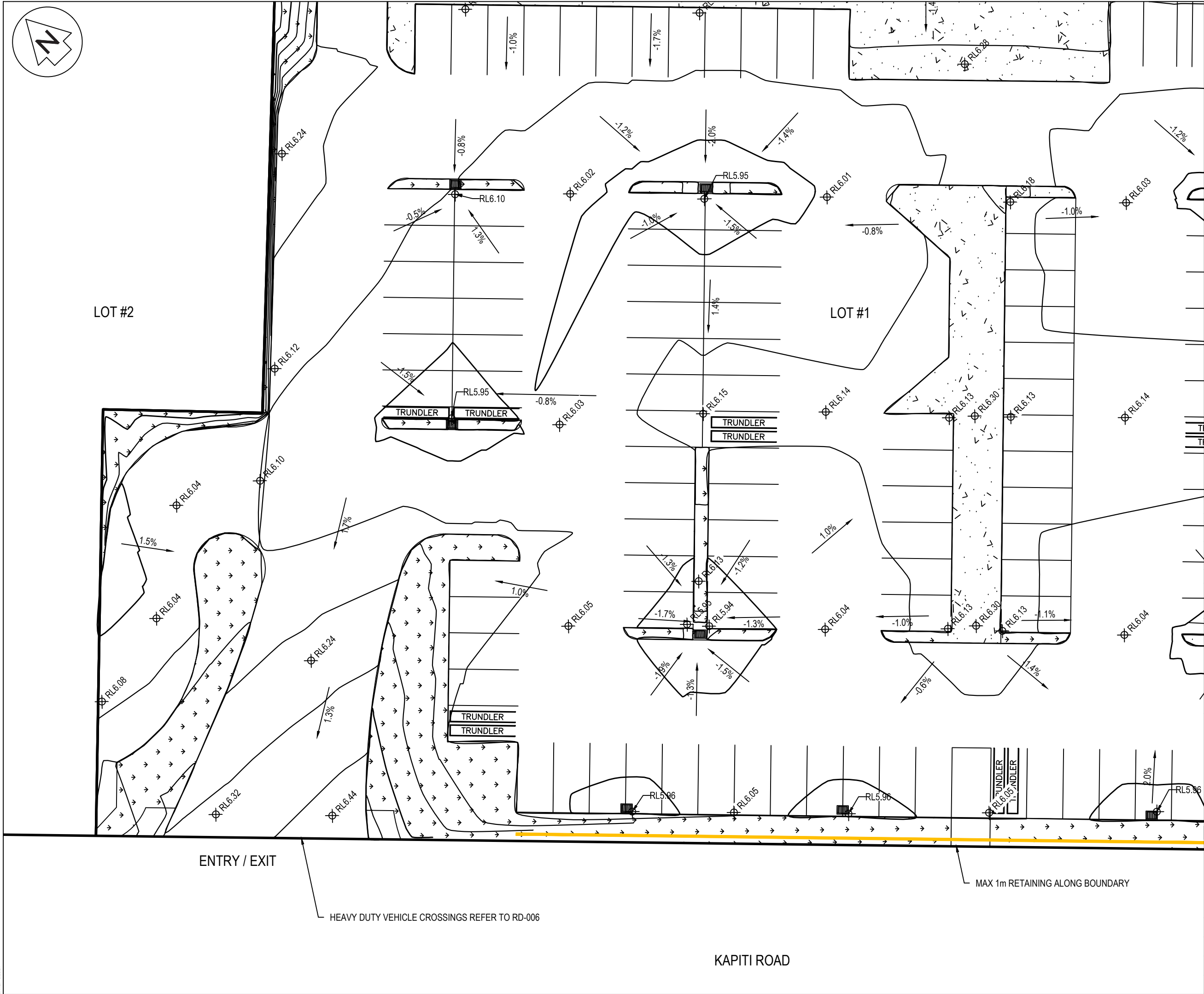
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Rev	Description	By	Date
		By	Date
Survey			
Design	CA		05/2021
Drawn	CA		05/2021
Checked	BB		05/2021

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Project
160
KAPITI ROAD
FOR
KAPITI RETAIL
HOLDINGS LTD

Title
PROPOSED
CARPARK
PLAN

Project no.	109022
Scale	1:500 @ A3
Cad file	109022 C300 SITE PLAN.DWG
Drawing no.	C310
Rev	A



Notes

1. All works to be in accordance with KDCDC standards.

Legend

- EX BDY
- PROP BDY
- ABUTTING BDY'S
- PROP SWCP SINGLE
- PROP SWCP DOUBLE
- PROP RETAINING
- PROP LANDSCAPING
- PROP CONCRETE

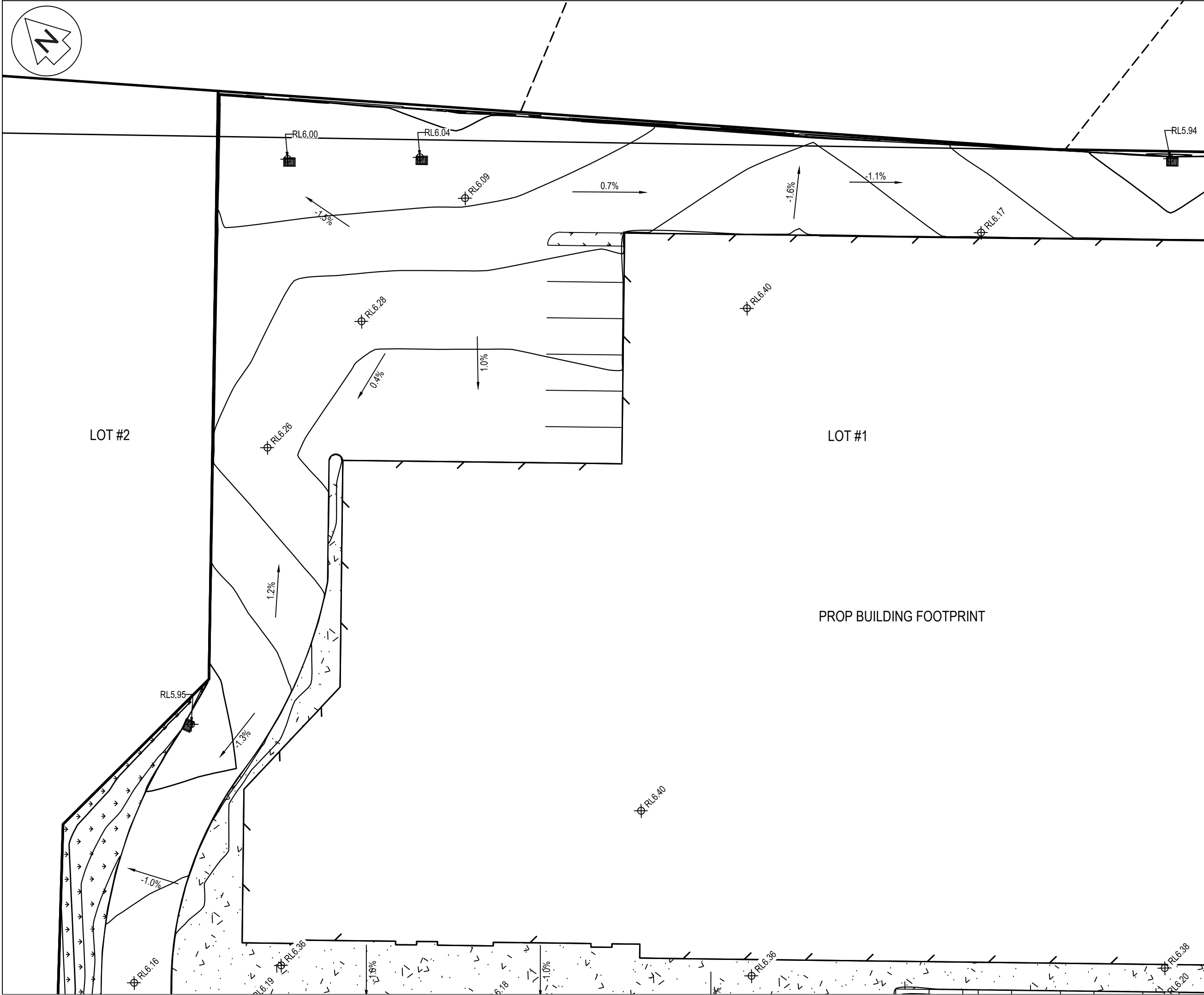
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Rev	Description	By	Date
	By	Date	
Survey			
Design	CA	05/2021	
Drawn	CA	05/2021	
Checked	BB	05/2021	

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Project
160
KAPITI ROAD
FOR
KAPITI RETAIL
HOLDINGS LTD

Title
PROPOSED
CARPARK
PLAN

Project no.	109022
Scale	1:250 @ A3
Cad file	109022 C300 SITE PLAN.DWG
Drawing no.	C311
Rev	A



- Notes
1. All works to be in accordance with KDC standards.
 2. Pipe bedding: 0 - 10% granular bedding, 10 - 20% weak concrete bedding, greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
 3. Each connection shall be marked by a 50mmx50mm treated pine stake extending 600mm above ground level with the top painted. This marker post shall be placed alongside a timber marker installed at the time of pipelaying and extending from the connection to 150mm below finished ground level. Connections shall be accurately indicated on "as built" plans.
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 6. All Manholes are to be 1050mmØ unless shown otherwise.
 7. All cesspit leads shall have min cover 0.9m.
 8. All lines to be abandoned shall be sealed at each end. timing of all sealing to be coordinated with council staff.

Legend

EX BDY	ABUTTING BDY'S
PROP BDY	PROP SWCP SINGLE
PROP SWCP DOUBLE	PROP RETAINING
PROP LANDSCAPING	PROP CONCRETE

A	RC	CA	06/2021
Rev	Description	By	Date
	By	Date	
Survey			
Design	CA	05/2021	
Drawn	CA	05/2021	
Checked	BB	05/2021	



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Project
160
KAPITI ROAD
FOR
KAPITI RETAIL
HOLDINGS LTD

Title
PROPOSED
CARPARK
PLAN

Project no.	109022		
Scale	1:250 @ A3		
Cad file	109022 C300 SITE PLAN.DWG		
Drawing no.	C312	Rev	A



- Notes
1. All works to be in accordance with KCDC standards.
 2. Pipe bedding: 0 - 10% granular bedding, 10 - 20% weak concrete bedding, greater than 20% weak concrete bedding (7mpa plus anti scour blocks at 6m crs).
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Legend

- EX BDY
- PROP BDY
- ABUTTING BDY'S
- PROP SWCP SINGLE
- PROP SWCP DOUBLE
- PROP RETAINING
- PROP LANDSCAPING
- PROP CONCRETE

A	RC	CA	06/2021
Rev	Description	By	Date
	By	Date	
Survey			
Design	CA	05/2021	
Drawn	CA	05/2021	
Checked	BB	05/2021	

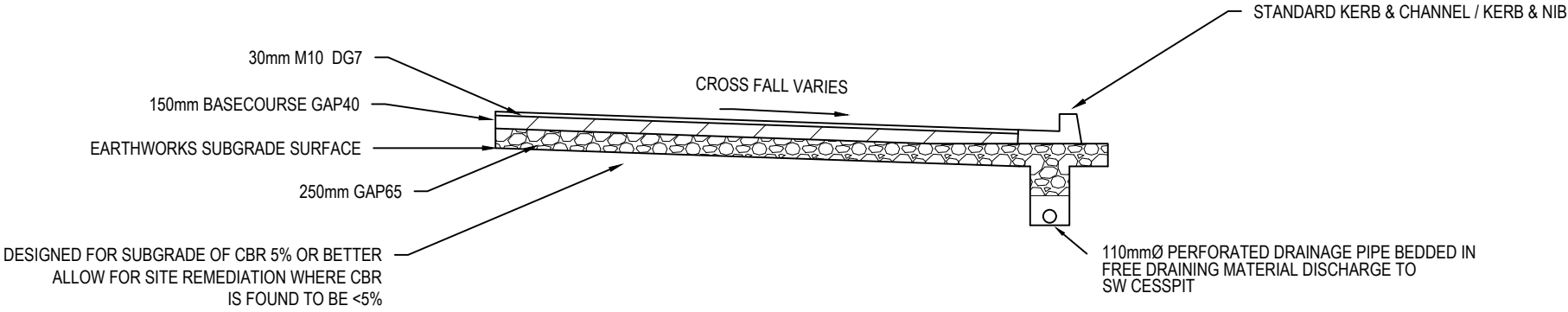


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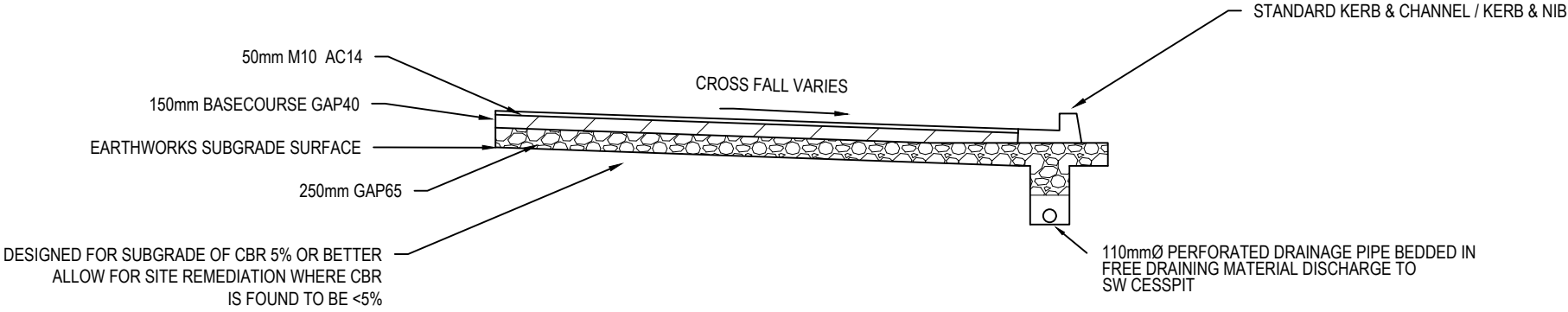
Project
160
KAPITI ROAD
FOR
KAPITI RETAIL
HOLDINGS LTD

Title
PROPOSED
CARPARK
PLAN

Project no.	109022
Scale	1:250 @ A3
Cad file	109022 C300 SITE PLAN.DWG
Drawing no.	C313
Rev	A



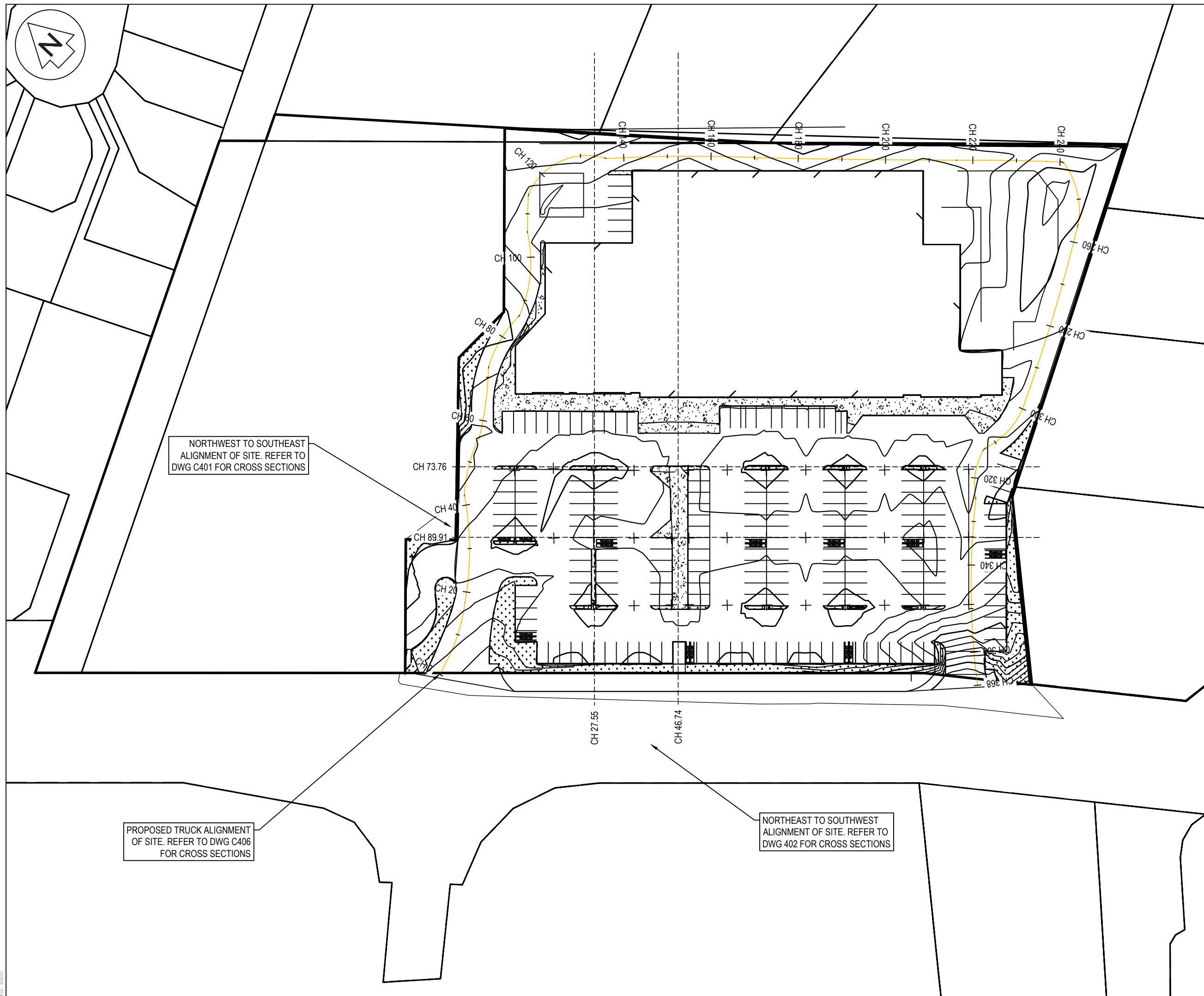
CAR PARKING PAVEMENT - ASPHALT
SCALE 1:50 @ A1 1:100 @ A3



HEAVY DUTY HOTMIX
SCALE 1:50 @ A1 1:100 @ A3

Notes
1. All works to be in accordance with KCDC standards.

A	RC	CA	06/2021
Rev	Description	By	Date
	By	Date	
Survey			
Design	CA	05/2021	
Drawn	CA	05/2021	
Checked	BB	05/2021	
<div><div><div>M</div><div>M A E N</div></div><div><div>Maven Associates</div><div>09 571 0050</div><div>info@maven.co.nz</div><div>www.maven.co.nz</div><div>5 Owens Road, Epsom</div><div>Auckland 1023</div></div></div>			
Project 160 KAPITI ROAD FOR KAPITI RETAIL HOLDINGS LTD			
Title PROPOSED CARPARK CROSS SECTIONS			
Project no.		109022	
Scale		1:250 @ A3	
Cad file		109022 C300 SITE PLAN.DWG	
Drawing no.		C320	Rev A



- | | |
|-------|--|
| Notes | <ol style="list-style-type: none"> 1. All works to be in accordance with KCDP council standards. 2. It is the contractors responsibility to locate all services that may be affected by his operations. 3. The contractor shall comply with all relevant Health and Safety requirements. 4. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services. |
|-------|--|

Legend

- EX BDY
- PROP BDY

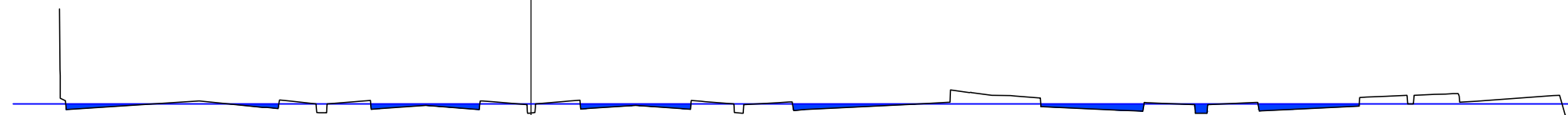
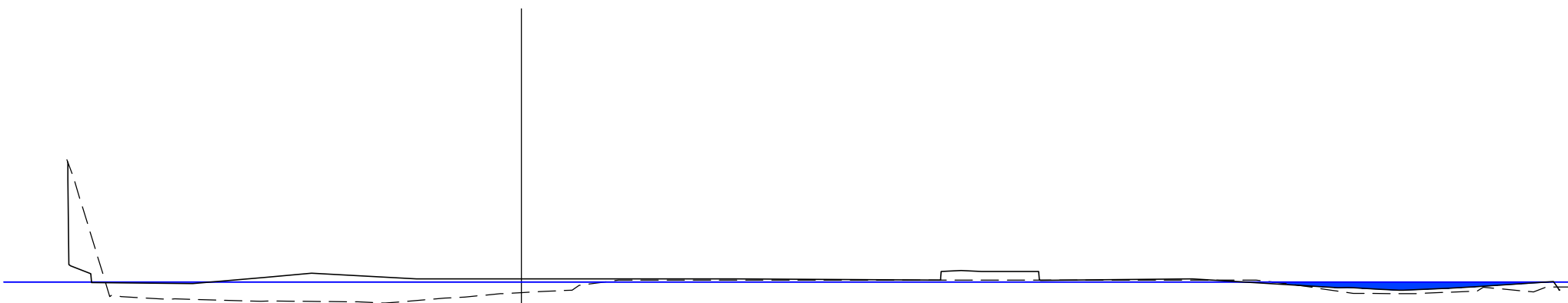
A	DRAFT	MA	05/2021
Rev	Description	By	Date
	By	Date	
Survey	BY	DATE	
Design	BY	DATE	
Drawn	MA	05/2021	
Checked	BY	DATE	



Project
**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Title	
SITE OVERVIEW PLAN	

Project no.	109022		
Scale	NTS		
Cad file	109022 C400 COPY.DWG		
Drawing no.	C400	Rev	A

[illegible]

EXISTING LEVELS	DESIGN LEVELS	OFFSETS
		-40.00
	6.09	-35.00
	6.08	-30.00
	6.13	-25.00
	6.22	-20.00
	6.16	-15.00
	6.15	-10.00
	6.15	-5.00
	6.15	0.00
	6.15	5.00
	6.15	10.00
	6.15	15.00
	6.15	20.00
	6.15	25.00
	6.14	30.00
	6.13	35.00
	6.28	40.00
	6.13	45.00
	6.14	50.00
	6.15	55.00
	6.13	60.00
	6.06	65.00
	6.00	70.00
	5.96	75.00
	6.00	80.00
	6.06	85.00
	6.01	90.00

NORTHWEST TO SOUTHEAST OF SITE CROSS SECTIONS

DATE: 6/25/21

Legend

- EX LEVELS
- DESIGN LEVELS
- 100 YEAR FLOOD LEVEL
- FLOOD VOLUME

A	DRAFT	MA	05/2021
Rev	Description	By	Date
	By	Date	
Survey	BY	DATE	
Design	BY	DATE	
Drawn	MA	05/2021	
Checked	BY	DATE	



Project
**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Title
**STORMWATER
FLOODING
CROSS SECTIONS**

Project no.	109022		
Scale	1:1000 H 1:200 V @ A3		
Cad file	109022 C400 COPY.DWG		
Drawing no.	C401	Rev	A

DATE: 6/25/21

DATUMN 4.00																											
EXISTING LEVELS				5.93	5.93	5.96	6.07	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	
DESIGN LEVELS				6.17	6.30	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	
OFFSETS	-80.00	-75.00	-70.00	-65.00	-60.00	-55.00	-50.00	-45.00	-40.00	-35.00	-30.00	-25.00	-20.00	-15.00	-10.00	-5.00	0.00	5.00	10.00	15.00	20.00	25.00	30.00	35.00	40.00	45.00	50.00

CH 46.74m

DATUMN 4.00																											
EXISTING LEVELS				5.93	5.93	5.96	6.07	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	6.13	7.03
DESIGN LEVELS				6.17	6.30	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	6.40	
OFFSETS	-80.00	-75.00	-70.00	-65.00	-60.00	-55.00	-50.00	-45.00	-40.00	-35.00	-30.00	-25.00	-20.00	-15.00	-10.00	-5.00	0.00	5.00	10.00	15.00	20.00	25.00	30.00	35.00	40.00	45.00	50.00

CH 46.74m

Legend

EX LEVELS

DESIGN LEVELS

100 YEAR FLOOD LEVEL

FLOOD VOLUME

A	DRAFT	MA	05/2021
Rev	Description	By	Date
	By	Date	
Survey	BY	DATE	
Design	BY	DATE	
Drawn	MA	05/2021	
Checked	BY	DATE	

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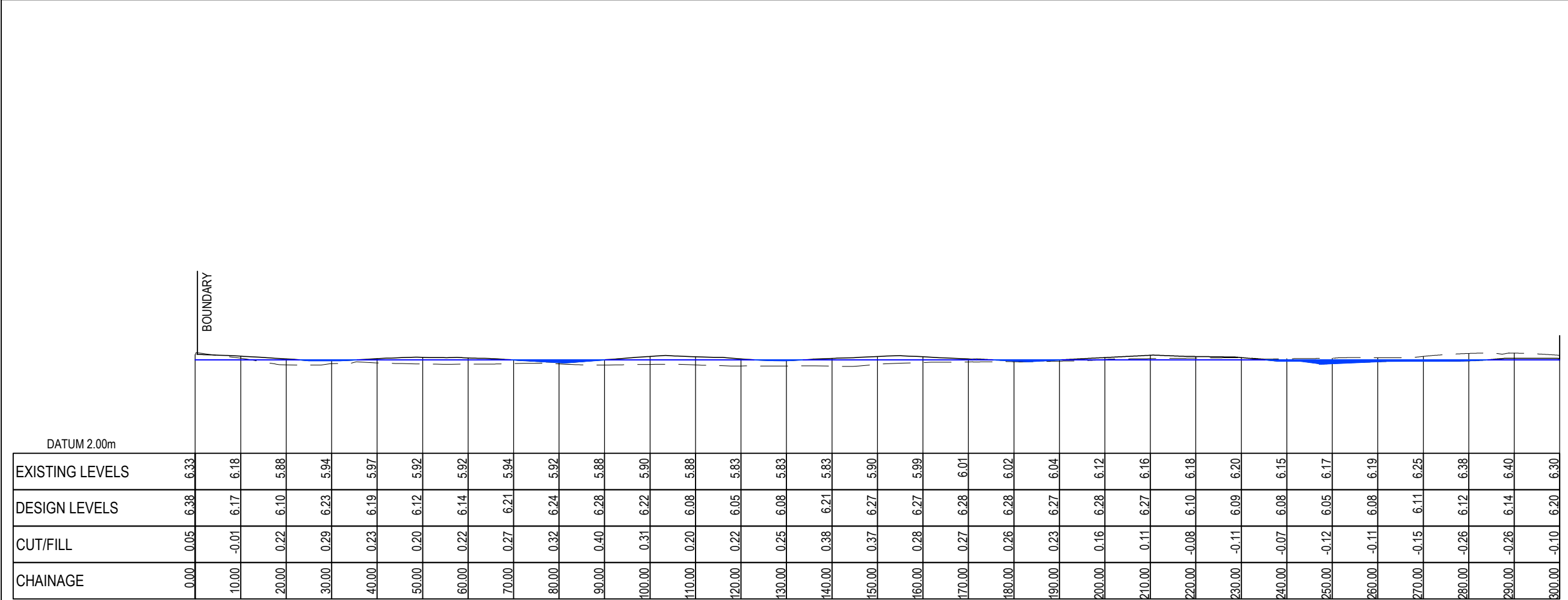
Auckland 1023

Project
**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

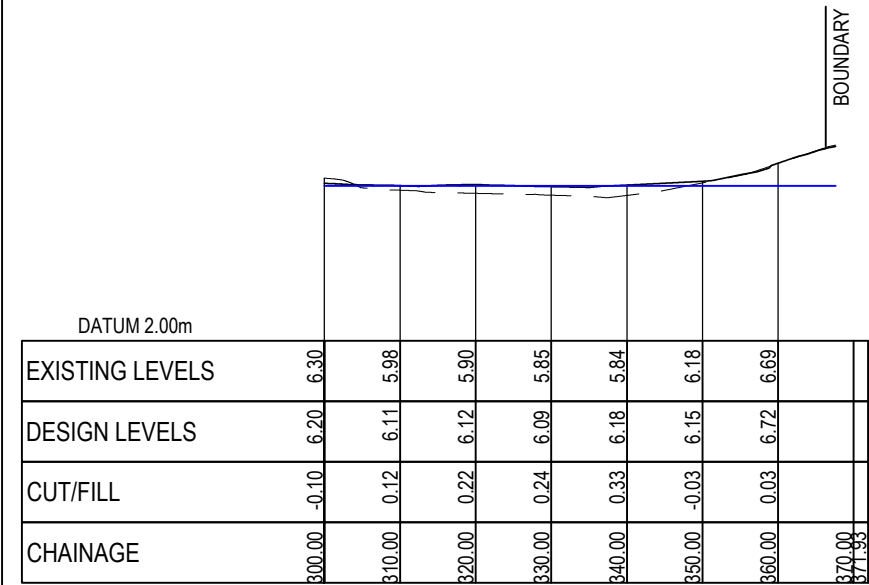
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**STORMWATER
FLOODING
CROSS SECTIONS**

Project no.	109022		
Scale	1:1000 H 1:200 V @ A3		
Cad file	109022 C400 COPY.DWG		
Drawing no.	C402	Rev	A

NORTHEAST TO SOUTHWEST OF SITE CROSS SECTIONS
SCALE 1:1000 HORI 1:200 VERT @ A3



PROPOSED TRUCK ACCESS PATH (1 OF 2)
SCALE: HORI 1:1250 VERT 1:250



PROPOSED TRUCK ACCESS PATH (2 OF 2)
SCALE: HORI 1:1250 VERT 1:250

Legend	
---	EX LEVELS
---	DESIGN LEVELS
---	100 YEAR FLOOD
---	LEVEL RL 6.10m

A	DRAFT	MA	05/2021
Rev	Description	By	Date
	By	Date	
Survey	BY	DATE	
Design	BY	DATE	
Drawn	MA	05/2021	
Checked	BY	DATE	

M

MAVEN

Maven Associates

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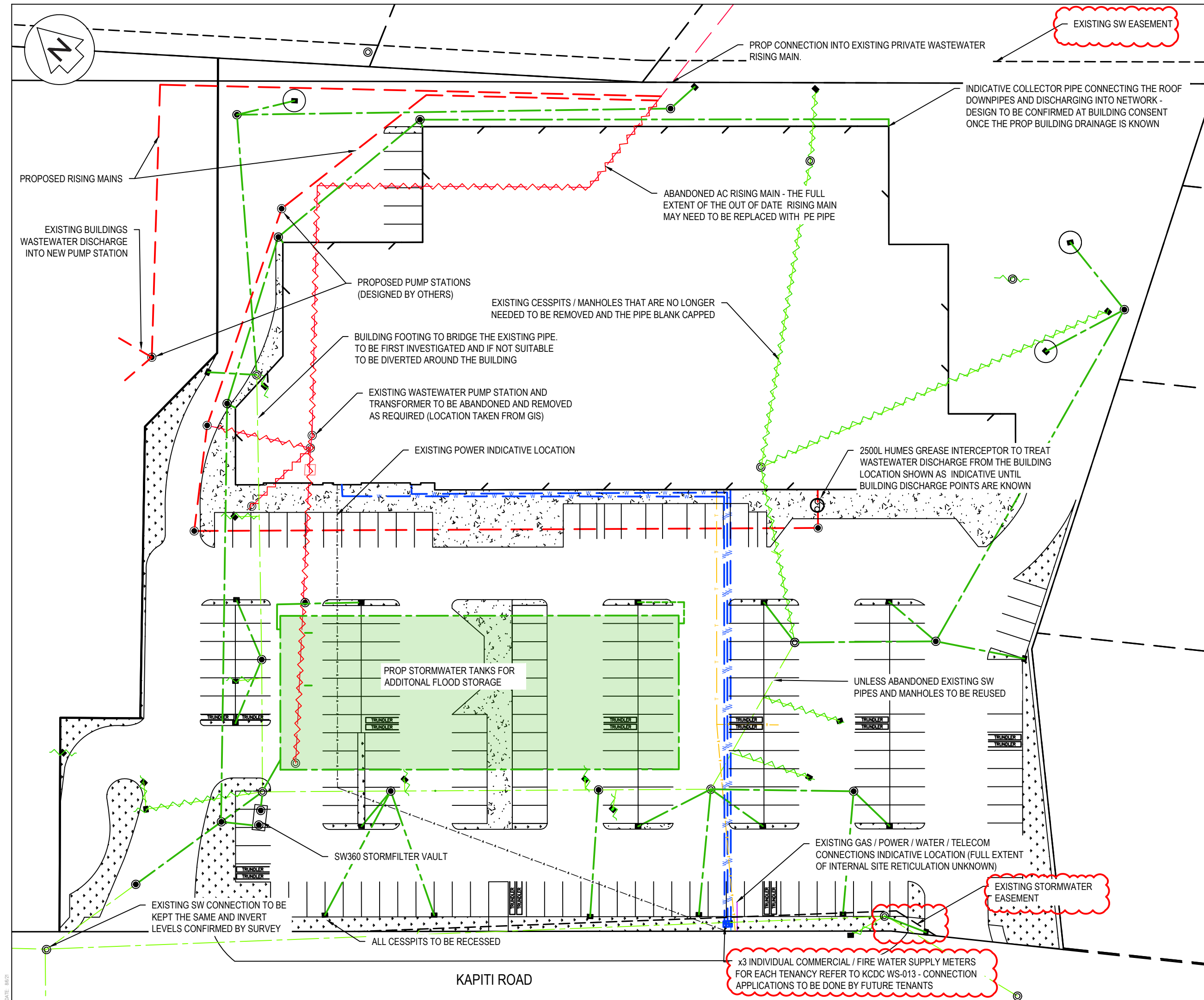
5 Owens Road, Epsom

Auckland 1023

Project
**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Title
**TRUCK
ACCESS
LONG SECTION**

Project no.	109022		
Scale	1:1000 H 1:200 V @ A3		
Cad file	109022 C400 COPY.DWG		
Drawing no.	C403	Rev	A



- Notes
1. All bends and connections to be no more than 45°
 2. All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 3. Drainage shall comply in full with E1/AS1 building code for storm water.
 4. All cesspits shall have half syphons installed.
 5. All sanitary waste drains shall be uPVC to AS/NZS 1260.
 6. Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 7. All pipes shall be SN16 grade unless otherwise stated.
 8. Drainlayer shall locate and confirm connection invert before starting building works.
 9. Plans to be read in conjunction with Hydraulic Engineers and differences shall be clarified before contractor starts.
 10. All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.
 11. Building discharge points are indicative to be confirmed at building consent once locations are confirmed by the architect

Legend

EX BDY	EX STORMWATER
ABUTTING BDY'S	EX WASTEWATER
PROP/EX EASEMENT	PR STORMWATER
PROP BDY	PR WASTEWATER
PROP BLDG PLATFORM	EX WATERMAIN
EX WATERMAIN	PROP WATERMAIN
EX TELECOM	EX POWER
EX GAS	EX POWER
PROP TELECOM	PROP POWER
PROP GAS	PROP GAS
EX/PROP SWMH	EX/PROP SWMH
PROP SWCP SINGLE	PROP SWCP SINGLE
ABANDONED WW	ABANDONED WW
ABANDONED SW	ABANDONED SW
FLOOD STORAGE TANKS	FLOOD STORAGE TANKS

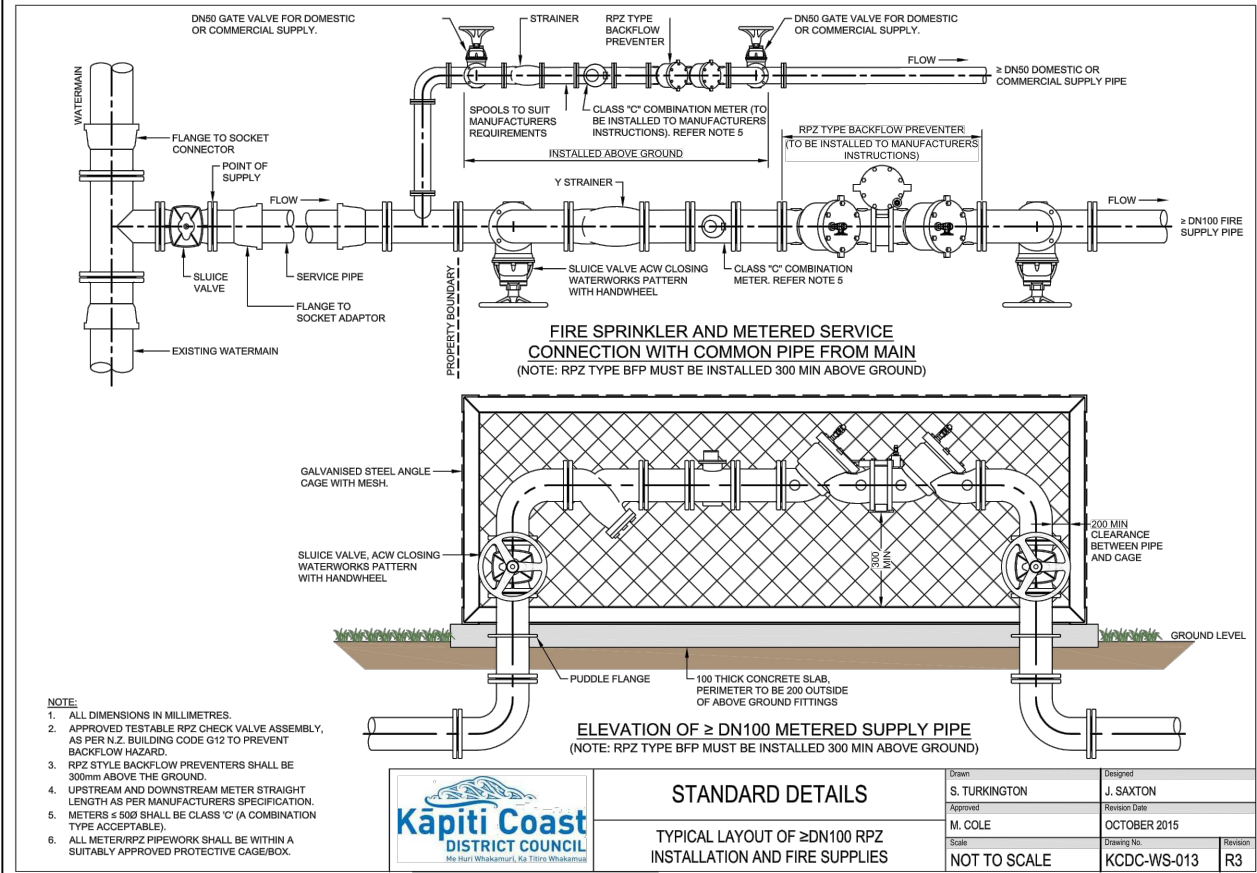
B	RC	CA	08/2021
A	RC	CA	05/2021
Rev	Description	By	Date
		By	Date
Survey	CA		
Design	CA		05/2021
Drawn	CA		2021
Checked	BB		05/2021

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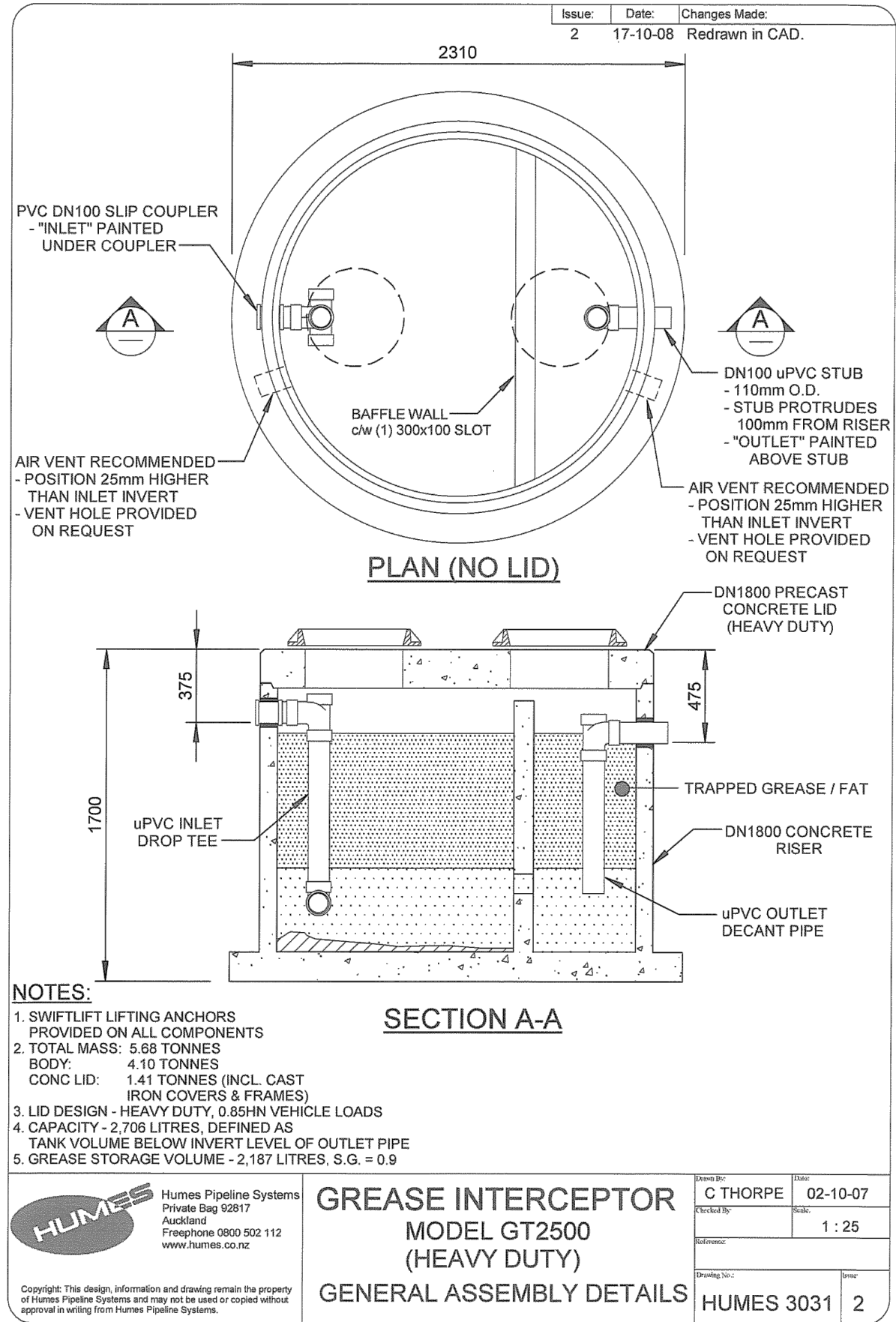
Project
160
KAPITI ROAD
FOR
KAPITI RETAIL
HOLDINGS LTD

Title
PROPOSED PRIVATE
SERVICES
PLAN

Project no.	109022
Scale	1:500 @ A3
Cad file	109022 C410.DWG
Drawing no.	C410
Rev	B



Original Sheet Size A3 [297x420]



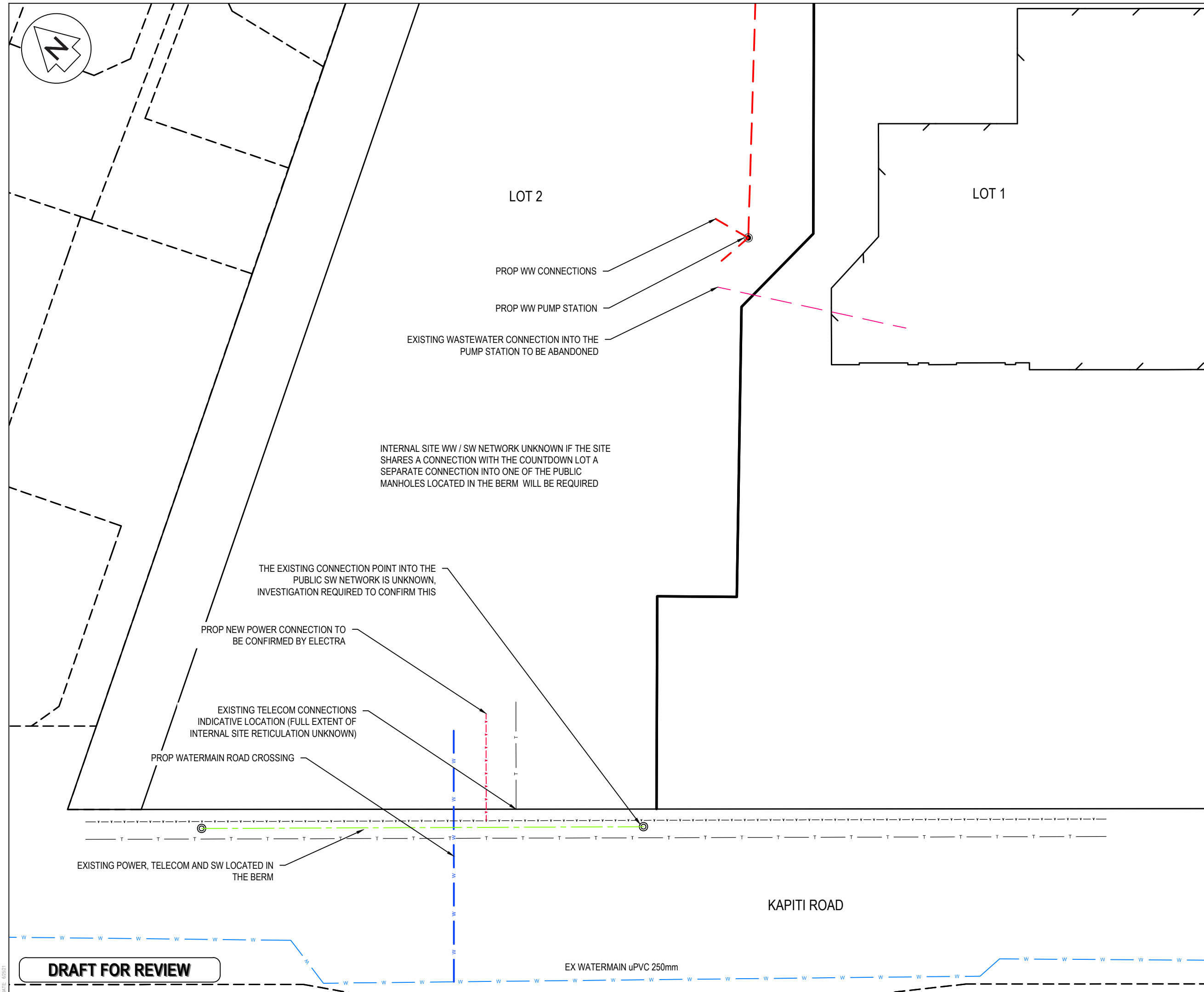
A	RC	CA	05/2021
Rev	Description	By	Date
		By	Date
Survey			
Design	CA		05/2021
Drawn	CA		05/2021
Checked	BB		05/2021

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Project
160
**KAPITI ROAD
FOR
KAPITI RETAIL
HOLDINGS LTD**

Title
**PROPOSED
SERVICES STANDARD
DETAILS**

Project no.	109022
Scale	NTS
Cad file	109022 C410.DWG
Drawing no.	C490
Rev	A



- Notes
1. All bends and connections to be no more than 45°
 2. All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 3. Drainage shall comply in full with E1/AS1 building code for storm water.
 4. All cesspits shall have half syphons installed.
 5. All sanitary waste drains shall be uPVC to AS/NZS 1260.
 6. Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 7. All pipes shall be SN16 grade unless otherwise stated.
 8. Drainlayer shall locate and confirm connection invert before starting building works.
 9. Plans to be read in conjunction with Hydraulic Engineers and differences shall clarified be before contractor starts.
 10. All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.

Legend

	EX BDY
	ABUTTING BDY'S
	PROP BDY
	PROP BLDG PLATFORM
	EX STORMWATER
	EX WASTEWATER
	PR STORMWATER
	PR WASTEWATER
	EX WATERMAIN
	PROP WATERMAIN
	EX TELECOM
	EX POWER
	EX GAS
	PROP TELECOM
	PROP POWER
	PROP GAS
	EX/PROP SWMH
	PROP SWCP SINGLE

A	RC	CA	05/2021
Rev	Description	By	Date
		By	Date
Survey			
Design	CA		05/2021
Drawn	CA		2021
Checked	BB		05/2021



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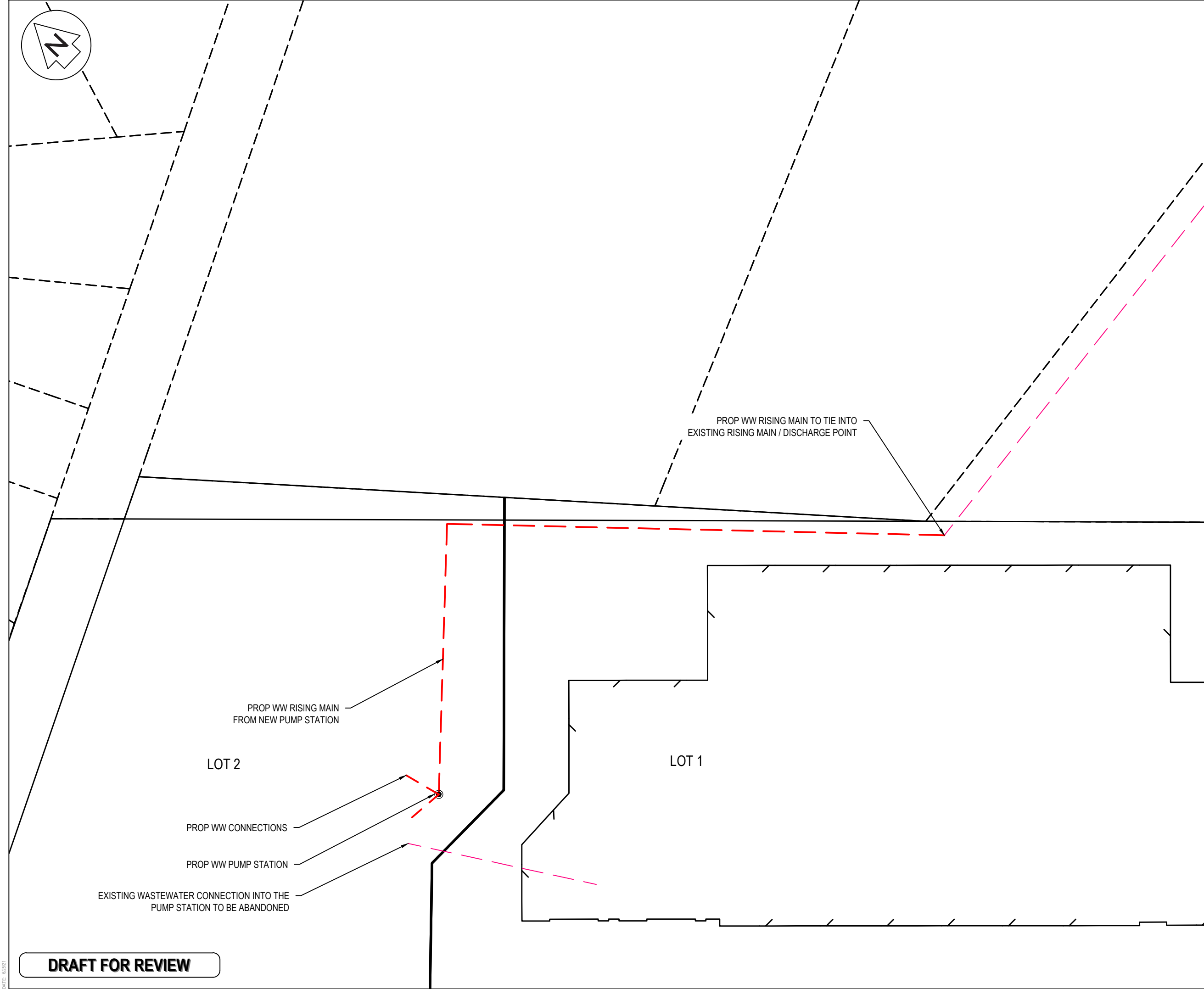
Project
160
KAPITI ROAD
FOR
KAPITI RETAIL
HOLDINGS LTD

Title
PROPOSED PRIVATE
SERVICES
PLAN

Project no.	109022
Scale	1:500 @ A3
Cad file	109022 C420 EXISTING SERVICES PLAN.DWG
Drawing no.	C430
Rev	A

DRAFT FOR REVIEW

DATE: 05/2021



- Notes
1. All bends and connections to be no more than 45°
 2. All connections to existing drains shall be carried out by a licensed Drainlayer/Plumber.
 3. Drainage shall comply in full with E1/AS1 building code for storm water.
 4. All cesspits shall have half syphons installed.
 5. All sanitary waste drains shall be uPVC to AS/NZS 1260.
 6. Sewer shall comply in full with AS/NZS 3500.2 - 2003 and/or G13 Building Code
 7. All pipes shall be SN16 grade unless otherwise stated.
 8. Drainlayer shall locate and confirm connection invert before starting building works.
 9. Plans to be read in conjunction with Hydraulic Engineers and differences shall clarified be before contractor starts.
 10. All chamber lids shall have a minimum 200mm maximum 300 throat to provide sufficient cover for landscape and pavement over the top.

Legend	
	EX BDY
	ABUTTING BDY'S
	PROP BDY
	PROP BLDG PLATFORM
	EX STORMWATER
	EX WASTEWATER
	PR STORMWATER
	PR WASTEWATER
	EX WATERMAIN
	PROP WATERMAIN
	EX TELECOM
	EX POWER
	EX GAS
	PROP TELECOM
	PROP POWER
	PROP GAS
	EX/PROP SWMH
	PROP SWCP SINGLE

A	RC	CA	05/2021
Rev	Description	By	Date
		By	Date
Survey			
Design	CA		05/2021
Drawn	CA		2021
Checked	BB		05/2021



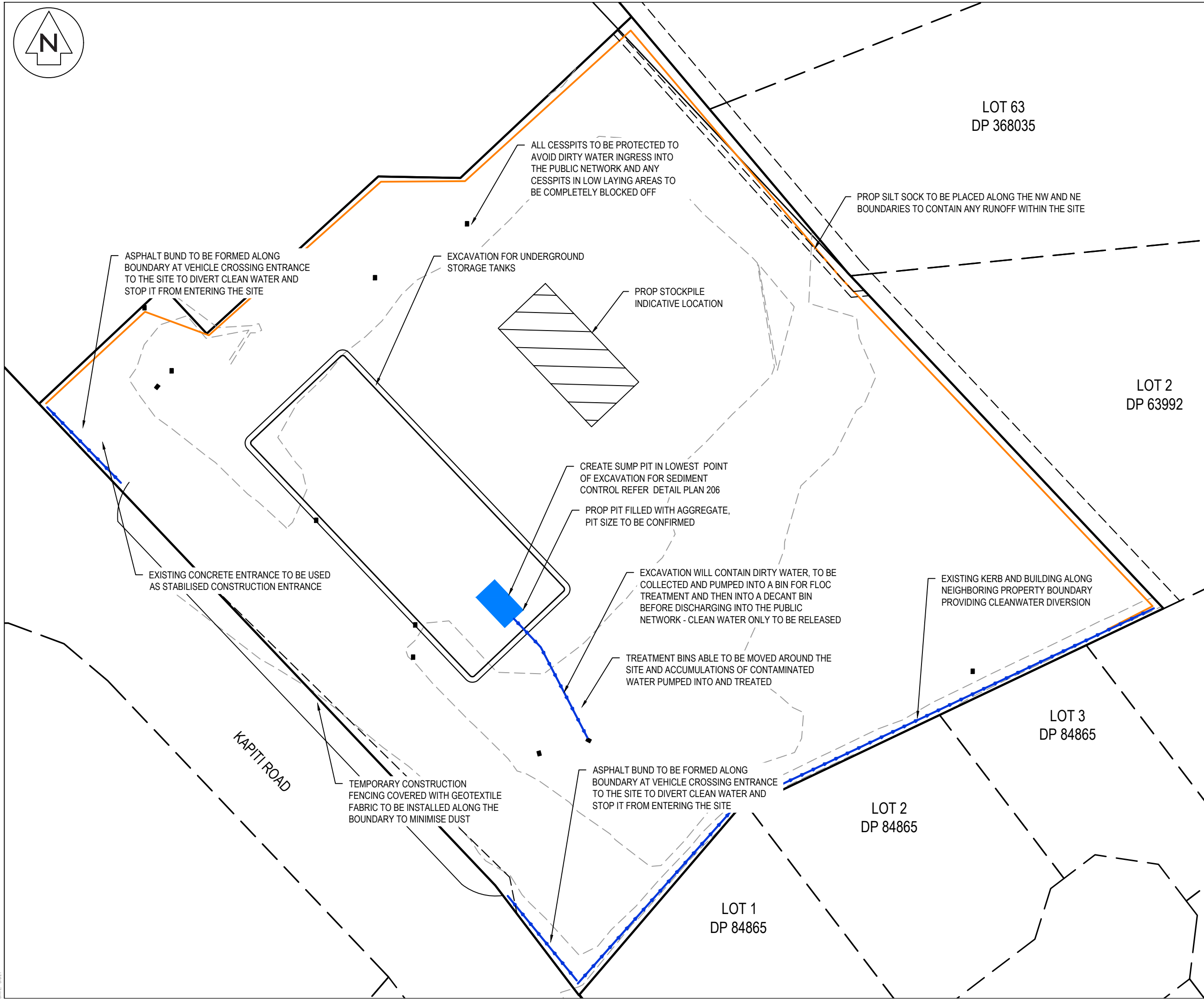
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Project
160
KAPITI ROAD
FOR
KAPITI RETAIL
HOLDINGS LTD

Title
PROPOSED PRIVATE
SERVICES
PLAN

Project no.	109022		
Scale	1:500 @ A3		
Cad file	109022 C420 EXISTING SERVICES PLAN		
Drawing no.	C431	Rev	A

DRAFT FOR REVIEW



- Notes
1. All works to be in accordance with KCDP council standards.
 2. It is the contractors responsibility to locate all services that may be affected by his operations.
 3. The contractor shall comply with all relevant Health and Safety requirements.
 4. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 5. Sediment control shall be installed and operational before earthworks start onsite in accordance with council standards.
 6. Contractor shall provide asbuilt of working sediment control devices and confirmation of pond/decent volumes to engineer.

Legend

	EX BDY
	PROP BDY
	EX ABUTTING BDY
	PROP/EX EASEMENT
	EX MAJOR CONTOUR
	PR MAJOR CONTOUR
	PR MINOR CONTOUR
	PROP SILT SOCK
	PROP STOCKPILE
	PROP CLEANWATER
	EX CESSPIT

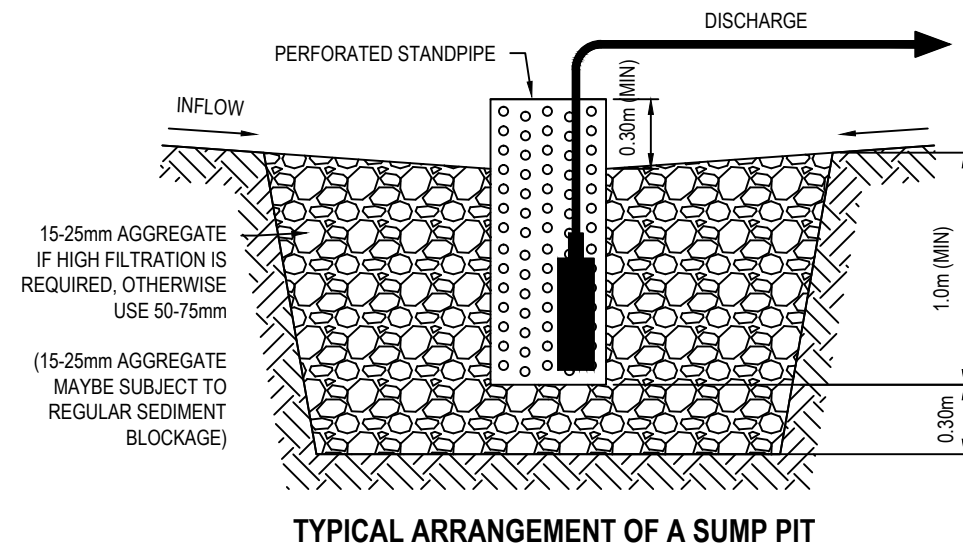
A	RC	CA	08/2021
Rev	Description	By	Date
Survey	CUTTRISS	09/16	
Design	CA	06/21	
Drawn	CA	06/21	
Checked	GB	06/21	

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Project
**160 KAPITI ROAD
PARAPARAUMU
FOR
KAPITI RETAIL HOLDINGS
LIMITED**

Title
**PROPOSED
SEDIMENT CONTROL
PLAN**

Project no.	109022
Scale	NTS
Cad file	109022 C200 PONDING.DWG
Drawing no.	C205
Rev	A



- Notes
1. All works to be in accordance with KCDP council standards.
 2. It is the contractors responsibility to locate all services that may be affected by his operations.
 3. The contractor shall comply with all relevant Health and Safety requirements.
 4. The contractor shall obtain all necessary approval from utility operators before commencing work under or near their services.
 5. Sediment control shall be installed and operational before earthworks start onsite in accordance with council standards.
 6. Contractor shall provide asbuilt of working sediment control devices and confirmation of pond/decent volumes to engineer.

Legend	
	EX BDY
	PROP BDY
	EX ABUTTING BDY
	PROP/EX EASEMENT
	EX MAJOR CONTOUR
	PR MAJOR CONTOUR
	PR MINOR CONTOUR
	PROP SILT SOCK
	PROP STOCKPILE
	PROP CLEANWATER
	EX CESSPIT

A	RC	CA	06/2021
Rev	Description	By	Date
		By	Date
Survey	CUTTRISS		09/16
Design	CA		06/21
Drawn	CA		06/21
Checked	GB		06/21



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Project

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LIMITED**

Title

**PROPOSED
SEDIMENT CONTROL
DETAILS**

Project no.	109022		
Scale	NTS		
Cad file	109022 C200 PONDING.DWG		
Drawing no.	C206	Rev	A